

GRADING GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE CURRENT CALIFORNIA BUILDING CODE, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND "ALL STANDARD PLANS" AND "SPECIAL PROVISIONS" REFERENCED.
2. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CURRENT CITY OF LANCASTER STANDARDS, POLICES, CODES, AND PERMIT REQUIREMENTS, AND SHALL BE DONE UNDER THE INSPECTION OF, AND TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS OR HIS REPRESENTATIVE. APPLICATION FOR INSPECTION BY THE CITY OF LANCASTER SHALL BE MADE BY THE CONTRACTOR AT LEAST TWENTY-FOUR (24) HOURS BEFORE THE SERVICES THEREOF WILL BE REQUIRED. PHONE (661)723-6157.
3. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY SO AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC. FAILURE TO COMPLY WITH THIS REQUIREMENT IS A VIOLATION OF THE CITY OF LANCASTER HIGHWAY PERMIT ORDINANCE.
4. GRADING PERMIT SHALL BE OBTAINED FROM THE CITY OF LANCASTER DEPARTMENT OF PUBLIC WORKS PRIOR TO START OF WORK. PRECONSTRUCTION MEETING IS ALSO REQUIRED PRIOR TO START OF WORK.
5. THE ENGINEER SHALL EXERCISE SUFFICIENT SUPERVISORY CONTROL DURING AND GRADING AND CONSTRUCTION TO ENSURE COMPLIANCE WITH THE APPROVED PLANS.
6. PRIOR TO REMOVAL OF VEGETATION AND GRADING OF THE SITE, ALL MITIGATION MONITORING AS IDENTIFIED AND ITEMIZED IN THE PLANNING COMMISSION/PLANNING DEPARTMENT CONDITIONS OF APPROVAL SHALL BE ADDRESSED TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND THE DIRECTOR OF PUBLIC WORKS. FIELD MONITORING SHALL BE ESTABLISHED AND PERFORMED AS REQUIRED. ANY TIME LIMITATIONS PRESCRIBED SHALL BE STRICTLY ENFORCED.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE EXCAVATION AND BUILDING CODE OF THE CITY OF LANCASTER AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. ANY VIOLATION WILL RESULT IN THE STOPPING OF ALL WORK UNTIL THE VIOLATION IS CORRECTED.
8. CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, OR AS DETERMINED BY THE SOILS ENGINEER.
9. FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, OR AS DETERMINED BY THE SOILS ENGINEER.
10. FILLS SHALL BE COMPACTED THROUGHOUT TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D1557.
11. THE SOILS ENGINEER SHALL CERTIFY THAT THE REQUIRED INSPECTIONS AND TESTS HAVE BEEN PERFORMED AND THAT SUCH TESTS COMPLY WITH THE CODE.
12. FILL AREAS SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED, AND INSPECTED BY THE GRADING INSPECTOR AND SOILS ENGINEER PRIOR TO THE PLACING OF FILL.
13. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT.
14. DUST SHALL BE CONTROLLED AS SPECIFIED IN THE DUST CONTROL METHOD LETTER, AVAQMD APPROVED PLANS, GENERAL NOTE 33 AND/OR BY WATERING TO THE SATISFACTION OF THE CITY PUBLIC WORKS INSPECTOR.
15. AFTER ALL WORK, INCLUDING THE INSTALLATION OF DRAINAGE STRUCTURES AND PROTECTIVE DEVICES, HAS BEEN COMPLETED AND REQUIRED REPORTS HAVE BEEN SUBMITTED, THE PERMITTEE SHALL REQUEST A ROUGH GRADING INSPECTION FROM THE CITY OF LANCASTER BUILDING INSPECTOR.
16. ALL PUBLIC STREETS SHALL BE MAINTAINED FREE OF DUST AND MUD CAUSED BY GRADING OPERATIONS.
17. COMPLY WITH ALL REQUIREMENTS OF THE SOILS REPORT. DATED: JANUARY 31, 2018
BY: BRUIN GEOTECHNICAL SERVICES, INC. – RYAN D. DUKE R.C.E.: 79729

THESE PLANS HAVE BEEN REVIEWED AND APPEAR TO BE IN GENERAL CONFORMITY WITH THE RECOMMENDATIONS OF OUR REPORT DATED: 1/31/2018 JOB No.17-173
WE MAKE NO REPRESENTATIONS AS TO DIMENSIONS, MEASUREMENTS, CALCULATIONS OR ANY PORTION OF THE DESIGN.

SOILS ENGINEER NAME: RYAN D. DUKE CA RCE NUMBER: 79729
SIGNATURE: _____ DATE: _____

18. ALL CESSPOOLS, SEPTIC TANKS, ETC., TO BE ABANDONED SHALL BE FILLED OR REMOVED IN ACCORDANCE WITH THE CITY OF LANCASTER STANDARDS AND CERTIFIED BY THE SOILS ENGINEER.
19. ANY EXISTING WELLS NOT TO BE USED SHALL BE DESTROYED IN ACCORDANCE WITH WATERWELL STANDARDS: STATE OF CALIFORNIA (SECTIONS 22 AND 23, BULLETIN 74-81, DECEMBER 1981 EDITION).
20. THIS PLAN CONFORMS WITH SITE PLAN REVIEW NO. 17-04 CONDITIONALLY APPROVED BY THE CITY OF LANCASTER PLANNING COMMISSION/PLANNING DEPARTMENT FOR WHEN LIFE HANDS YOU LEMONS, LP ON JULY 20, 2018
21. THE ENGINEER MUST SET GRADE STAKES FOR ALL DRAINAGE DEVICES AND OBTAIN INSPECTION BEFORE PLACING CONCRETE.
22. THE SOILS ENGINEER MUST APPROVE ALL GRADING INCLUDING THE STABILITY OF ANY SLOPES CREATED, EXISTING, OR REMAINING.
23. NOT LESS THAN ONE FIELD DENSITY TEST WILL BE MADE FOR EACH 2 FOOT VERTICAL LIFT OF FILL NOR LESS THAN ONE SUCH FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED.
24. FINISH GRADING WILL BE COMPLETED AND APPROVED, AND SLOPE PLANTING INCLUDING PERMANENT EROSION CONTROL AND IRRIGATION SYSTEMS INSTALLED, BEFORE OCCUPANCY OF BUILDINGS.
25. ESTIMATED CUT = N/A CUBIC YARDS. SEE MASS GRADING PLANS
ESTIMATED FILL = N/A CUBIC YARDS.
26. PROPOSED STARTING DATE: JANUARY 2020
COMPLETION DATE: JULY 2020
27. FIELD DENSITY WILL BE DETERMINED BY THE SAND-CONE METHOD A.S.T.M. D1556, UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE BUILDING OFFICIAL. IN FINE-GRAINED, COHESIVE SOILS, FIELD DENSITY MAY BE DETERMINED BY THE NUCLEAR DENSITY METHOD, A.S.T.M. D2922 & D3017, PROVIDED NOT LESS THAN 10% OF THE REQUIRED DENSITY TESTS, UNIFORMLY DISTRIBUTED, ARE BY THE SAND-CONE METHOD. THE METHOD OF DETERMINING FIELD DENSITY SHALL BE SHOWN IN THE COMPACTION REPORT. OTHER METHODS MAY BE USED IF RECOMMENDED BY THE SOILS ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL.
28. NO ROCK OR SIMILAR MATERIAL GREATER THAN 6" IN DIAMETER WILL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOILS ENGINEER IN ADVANCE AND APPROVED BY THE BUILDING OFFICIAL.
29. DENSITY TESTS WILL BE MADE OF POINTS APPROXIMATELY 1 FOOT BELOW THE FILL SLOPE SURFACE ON THE BASIS OF ONE TEST FOR EACH 1,000 SQUARE FEET OF SLOPE SURFACE AND NOT LESS THAN ONE TEST FOR EACH 10 FOOT VERTICAL OF SLOPE HEIGHT.
30. ALL PADS AT ROUGH GRADING WILL HAVE A MINIMUM SLOPE OF 1% TOWARDS THE STREET OR DESIGNED DRAINAGE OUTLET.
31. CONTOURS SHOWN IN PARENTHESIS REPRESENT ORIGINAL GROUND.
32. THE UNDERSIGNED CIVIL ENGINEER CERTIFIES THIS GRADING WORK WILL BE OBSERVED AND INSPECTED IN ACCORDANCE WITH APPENDIX CHAPTER 33 OF THE CITY BUILDING CODE.

R.C.E. NUMBER _____

GRADING GENERAL NOTES CONT'D:

33. MONUMENTATION
- A. ALL EXISTING SURVEY MONUMENTS WITHIN THE CONSTRUCTION AREA SHALL BE LOCATED AND REFERENCED BY OR UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR PRIOR TO THE APPROVAL OF GRADING PLANS. A CORNER RECORD OF THE EXISTING MONUMENTS AND REFERENCES SET PERPETUATE THE MONUMENTS SHALL BE FILED WITH THE COUNTY SURVEYOR PRIOR TO THE ISSUANCE OF A PERMIT TO START CONSTRUCTION.
- B. ALL NEW SURVEY MONUMENTS SHOWN TO BE SET ON A FINAL TRACT MAP OR PARCEL MAP SHALL BE SET PER THE RECORDED TRACT OR PARCEL MAP AND TO BOOK SURVEY THE NOTES SHALL BE FILED WITH THE CITY ENGINEER PRIOR TO ACCEPTANCE OF THE STREET IMPROVEMENTS.
- C. I HEREBY CERTIFY THAT I HAVE IDENTIFIED ALL EXISTING SURVEY MONUMENTS WITHIN THE CONSTRUCTION AREA. ALL SAID MONUMENTS WHICH CURRENTLY EXIST IN THE FIELD ARE SHOWN ON THESE PLANS AND ARE DESCRIBED AS FOLLOWS:

THERE ARE NO MONUMENTS OF RECORD WITHIN THE LIMITS OF
THE GRADING WORK SHOWN

DATED _____ BY _____ L.S. NO. 8767

34. DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OF THE FOLLOWING METHODS, UNLESS OTHERWISE SPECIFIED BY THE BUILDING OFFICIAL, UNTIL PERMANENT GROUND COVERING (BUILDING, ROADS, LANDSCAPING) IS PROVIDED. ON-SITE SPRINKLERS ARE REQUIRED FOR SITES OF 5 ACRES OR MORE AND TRUCK WATERING MAY BE USED FOR SITES LESS THAN 5 ACRES.
35. SEPARATE PLANS FOR TEMPORARY DRAINAGE AND EROSION CONTROL MEASURES ARE REQUIRED.
36. WHEN MATERIAL IS BEING IMPORTED FROM AN APPROVED CITY BORROW SITE, THE AFTER TOPOGRAPHICAL SURVEY OF THE EXCAVATED PORTION OF THE BASIN SHALL BE SUBMITTED ALONG WITH THE ROUGH GRADING CERTIFICATE(S).
37. HAULING PERMIT IS REQUIRED IF HAULING MORE THAN 100 CUBIC YARDS OF DIRT. STOCKPILE PERMIT IS REQUIRED IF STOCKPIILING MORE THAN 100 CUBIC YARDS OF DIRT.
38. PERIMETER WALL SHALL APPLIED WITH GRAFFITI BARRIER FILM TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS PRIOR TO ACCEPTANCE OF IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND KEEP THE PERIMETER WALL FREE OF GRAFFITI DURING CONSTRUCTION AND PRIOR TO ACCEPTANCE OF IMPROVEMENTS.
39. ALL REVISIONS TO GRADING PLANS, OR MATERIAL SUBSTITUTION REQUESTS PROPOSED DURING CONSTRUCTION SHALL BE SUBMITTED IN WRITING TO THE DEVELOPMENT ENGINEERING DIVISION AND SHALL FOLLOW THE PROCEDURES FOR APPROVAL OUTLINED IN THE MOST CURRENT CITY OF LANCASTER ENGINEERING DESIGN GUIDELINES.
40. WHEN IMPROVEMENT PLANS HAVE BEEN SUBMITTED TO THE CITY FOR CHECKING AND THE CHECKING PROCESS HAS BEEN INTERRUPTED FOR A PERIOD OF ONE YEAR OR MORE, THE PLANS SHALL BE ABANDONED. APPROVED IMPROVEMENT PLANS SHALL BE DEEMED ABANDONED IF CONSTRUCTION HAS NOT COMMENCED WITHIN TWO YEARS OF THE LATEST APPROVAL DATE. IF CONSTRUCTION IS INTERRUPTED FOR A PERIOD OF ONE YEAR OR MORE, THE PLANS SHALL BE DEEMED ABANDONED. ABANDONED PLANS SHALL BE RE-SUBMITTED FOR REVIEW AND ALL FEES SHALL BE PAID IN ACCORDANCE WITH CITY'S ABANDONED PLANS POLICY PRIOR TO ANY PERMITS BEING ISSUED.
41. ALL WORK SHALL COMPLY WITH THE CITY OF LANCASTER HOLIDAY MORATORIUM POLICY. NO EXCAVATION OR WORK SHALL OCCUR WITHIN THE PUBLIC RIGHTS-OF-WAY ON PRIMARY ARTERIALS, SECONDARY ARTERIALS, AND COLLECTOR STREETS BETWEEN NOVEMBER 11TH TO JANUARY 2ND, EXCEPT WORK PERTAINING TO PUBLIC SAFETY OR WITH THE WRITTEN PERMISSION OF CITY MANAGER. WORK COMMENCED PRIOR TO THE RESTRICTION PERIOD MUST BE IN SUCH A CONDITION THAT IT WILL BE RESURFACED PRIOR TO NOVEMBER 15TH.
42. ALL OFF-SITE IMPROVEMENTS WITHIN PUBLIC RIGHT OF WAY WILL REQUIRE SEPARATE ENCROACHMENT PERMITS.
43. ALL ON-SITE WET UTILITIES (SEWER, WATER AND STORM DRAIN) TO BE REVIEWED/APPROVED BY BUILDING & SAFETY DIVISION AND REQUIRE SEPARATE PERMITS.
44. ALL OTHER UTILITIES (GAS, ELECTRIC, CABLE, ETC.) TO BE REVIEWED/APPROVED BY UTILITY COMPANIES/BUILDING & SAFETY AND REQUIRE SEPARATE PERMITS.

ENGINEER'S CERTIFICATION

THE REGISTERED PROFESSIONAL ENGINEER CERTIFIES THAT THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE CITY OF LANCASTER ENGINEERING DESIGN GUIDELINES POLICIES AND PROCEDURES.

CONDUCT OF CONSTRUCTION:

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED WORK AND ENGINEER'S RIGHT TO INSPECT OR SUSPEND THE WORK IS LIMITED THERETO. THE ENGINEER WILL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE ENGINEER WILL NOT BE RESPONSIBLE FOR OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

STATEMENT OF RESPONSIBILITY

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE WORK HEREON. IN THE EVENT OF DISCREPANCIES ARISING DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION DETERMINING AND REVISING THE PLANS FOR APPROVAL BY THE CITY.

DECLARATION OF ENGINEER OF RECORD

I HEREBY DECLARE THAT IN MY PROFESSIONAL OPINION, THE DESIGN OF THE IMPROVEMENTS AS SHOWN ON THESE PLANS COMPLIES WITH THE CURRENT PROFESSIONAL ENGINEERING STANDARDS AND PRACTICES. AS THE ENGINEER IN RESPONSIBLE CHARGE OF THE DESIGN OF THESE IMPROVEMENTS, I ACCEPT FULL RESPONSIBILITY FOR SUCH DESIGN. I UNDERSTAND AND ACKNOWLEDGE THAT THE PLAN CHECK OF THESE PLANS BY THE CITY OF LANCASTER IS A REVIEW FOR THE LIMITED PURPOSE OF ENSURING THAT THESE PLANS COMPLY WITH THE CITY STANDARDS/PROCEDURES AND OTHER APPLICABLE CODES AND ORDINANCES. THE PLAN REVIEW PROCESS IS NOT A DETERMINATION OF THE TECHNICAL ADEQUACY OF THE DESIGN OF THE IMPROVEMENTS. SUCH PLAN CHECK DOES NOT THEREFORE RELIEVE ME OF MY RESPONSIBILITY.

SOILS ENGINEER:

THIS PLAN HAS BEEN REVIEWED AND APPEARS TO BE IN GENERAL CONFORMITY WITH THE RECOMMENDATIONS OF THE REPORT DATED 1/31/2018, JOB NO. 17-173 BY BRUIN GEOTECHNICAL SERVICES, INC.

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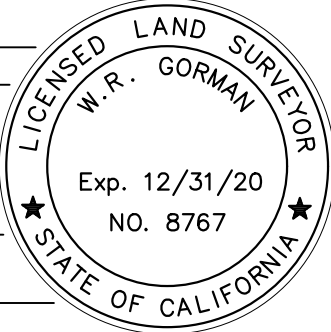
PROJECT ENGINEER: RYAN DUKE, R.C.E. 79729

DATE: _____

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THIS DRAWING. PRIOR TO EXCAVATION THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT, TOLL FREE, AT 1-800-422-4133 TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES.

BARRY S. MUNZ C44094 DATE _____



PRECISE GRADING PLAN

CITY OF LANCASTER

PHASE 3, KENSINGTON CAMPUS

S.P.R. 17-04

SITE INFORMATION: (SEE SITE PLAN FOR BUILDING DATA AND INFORMATION)

TOTAL LOT AREA = 15.14 ACRES

DISTURBED AREA PER THIS PROJECT = 15.14

ACRES PROPOSED IMPERVIOUS AREA = --- (SEE PRECISE GRADING PLAN GRA18-02658)

{ NEW BUILDING = ----- }
{ NEW PAVING = ----- } (SEE PRECISE GRADING PLAN GRA18-02658)

EXISTING IMPERVIOUS AREA = 0.00 ACRES

ENGINEER'S ESTIMATE OF EARTHWORK		
DESCRIPTION	CUT (C.Y.)	FILL (C.Y.)
LOT (RAW)		
BUILDING OVEREXCAVATION: BLDG + MIN. 5' BEYOND = 195,591 SF x 5.4' DEPTH		
BUILDING SCARIFICATION: 195,591 SF x 0.5' DEPTH		
PARKING, WALK & STREET OVEREX & SCARIFICATION: 178,403 SF x 2.9' DEPTH (Parking lot area plus 3' beyond)		
SUBTOTALS		
SHRINKAGE @ 8% (PER SOILS REPORT)		
SUBSIDENCE = 0.05' (PER SOILS REPORT)		
TOTALS		
EXPORT		

LEGEND:

	= EXISTING C.M.U. BLOCKWALL
	= FILL AREA
	= CUT AREA
BW	= BACK OF WALK
CF	= CURB FACE
(XX.XX)	= EXISTING ELEVATION
EP	= EDGE OF PAVEMENT
FG	= FINISHED GRADE
FL	= FLOWLINE
FS	= FINISHED SURFACE
GB	= GRADE BREAK
HP	= HIGH POINT
INV	= INVERT ELEV.
NG	= NATURAL GROUND
PSD	= PRESSURE STORM DRAIN
RL	= RIDGE LINE
SD	= STORM DRAIN
SW	= SIDEWALK
TC	= TOP OF CURB
TG	= TOP OF GRATE
UNO	= UNLESS NOTED OTHERWISE
49	= PROPOSED CONTOURS
(2450)	= EXISTING CONTOURS
	= FILL SLOPE 2:1 MAX
	= CUT SLOPE 2:1 MAX
C	= CUT/FILL LINE
F	= CUT/FILL LINE
---	= PROPERTY LINE

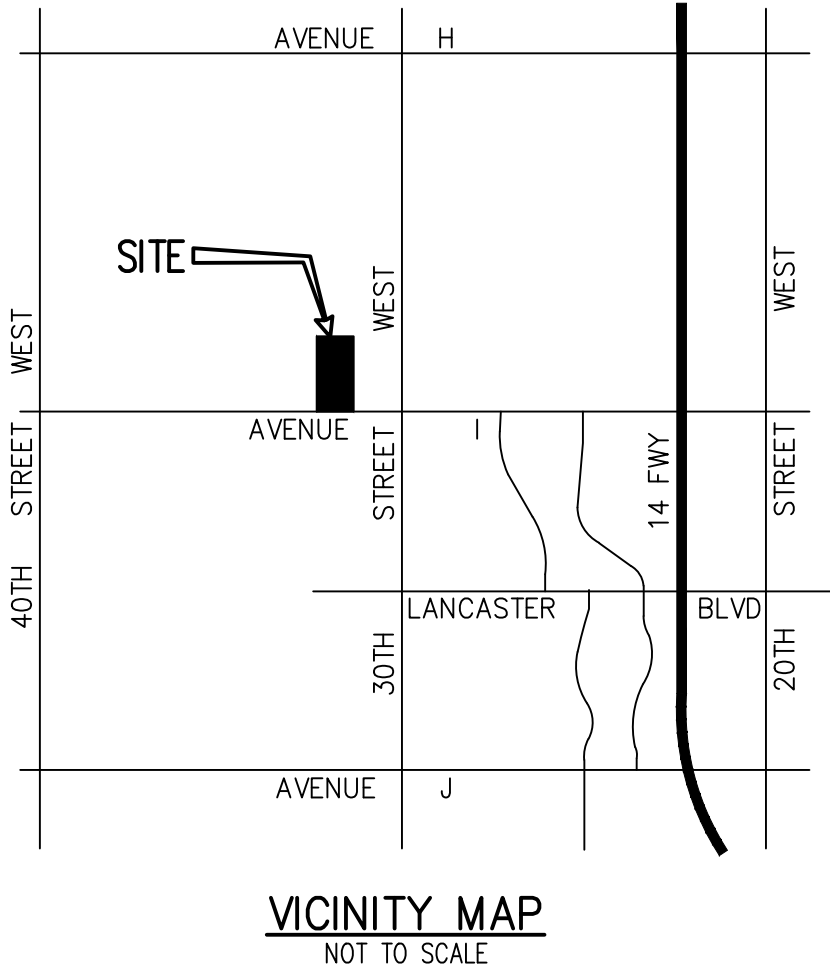
THE LOCATIONS OF UTILITIES SHOWN ARE APPROXIMATE. BEFORE STARTING EXCAVATION, THE CONTRACTOR MUST CONTACT:

UNDERGROUND SERVICE ALERT



NOTE TO CONTRACTOR:

PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL LOCATE AND VERIFY DEPTH OF EXISTING UTILITIES. NOTIFY ENGINEER IF LOCATIONS OR DEPTH CONFLICT WITH NEW WORK.



VICINITY MAP
NOT TO SCALE

BENCH MARK: L 5760
ELEV. 2320.174

LS TAG IN N CB 1FT W/O BCR @ NW COR
AVE I & 30TH ST W 52.5FT N/O & 100FT
W/O C/L INT

LANCASTER QUAD (2012 ADJUSTMENT)
NAVD 88 DATUM

LEGAL DESCRIPTION

PARCEL 2 OF PARCEL MAP NO. 82267, IN THE CITY OF LANCASTER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 398, PAGES 46 THROUGH 50 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

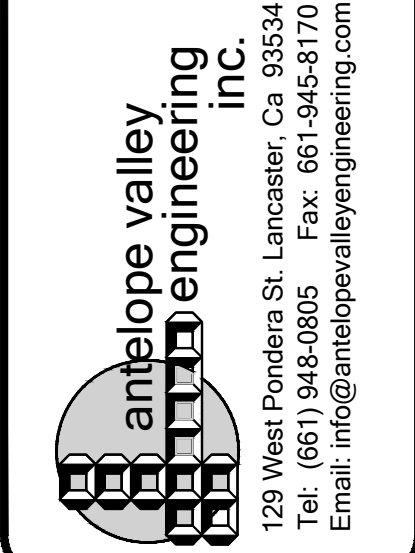
A.P.N. 3107-012-127

REV.	DESCRIPTION	DATE	APPR.

OWNER
NO MORE LEMONS, LP 6330 VAREIL AVENUE, SUITE 101 WOODLAND HILLS, CA 91367 (818) 789-5550

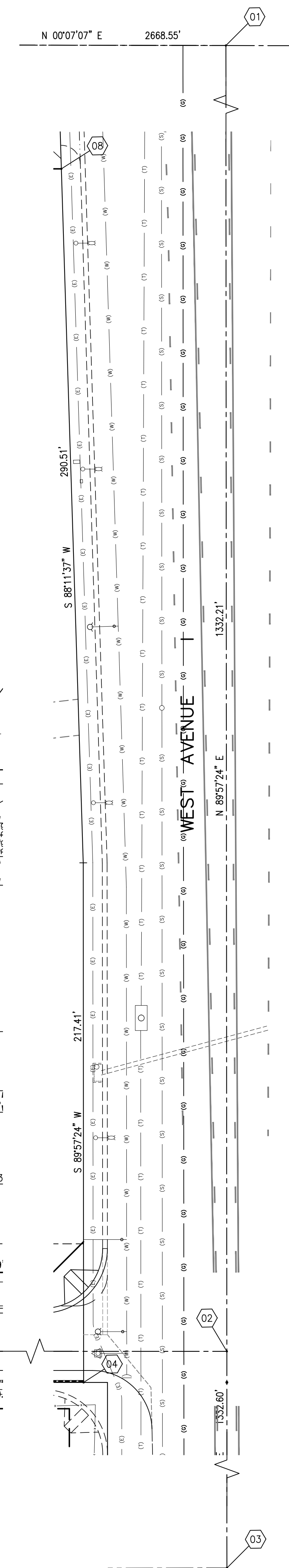
PROJECT
KENSINGTON HOMES AVENUE I & 32ND ST. W. LANCASTER, CA 93536 APN# 3107-012-127 SPR 17-04; BUILDINGS: 45248 32ND ST W 45258 32ND ST W

SHEET TITLE
TITLE SHEET



DRAWN:	RG/BM
DATE:	12-18-19
JOB No.:	19-154
SHEET:	C1.00
OF	- SHEETS

No.	DRAWING SHEET INDEX
C1.00	GRADING TITLE SHEET
C1.10	DEMOLITION PLAN
C1.20	HORIZONTAL CONTROL PLAN
C1.30	GRADING PLAN
C1.40	CONSTRUCTION PLAN
C1.50	GRADING OVER-EXCAVATION PLAN
C1.60	GRADING DETAILS
C1.70	PRECISE GRADES VILLA (TYP.)
C2.00	ON-SITE COMPOSITE UTILITY
C2.01	ON-SITE COMPOSITE UTILITY
C2.10	ON-SITE SEWER PLAN
C2.20	ON-SITE STORM DRAIN PLAN
C2.21	TYPICAL VILLA STORM DRAIN



PARKING LOT NOTE:
SEE STRIPING PLAN DIMENSIONS AND CONFIGURATIONS ON
ARCHITECTURAL SITE PLAN(S).



 antelope valley
engineering
inc.

129 West Pondera St. Lancaster, Ca 93534
Tel: (661) 948-0805 Fax: 661-945-8170
Email: info@antelopevalleyengineering.com

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DATE:	12-18-19
JOB No.:	19-154
SHEET:	C1.20
OF	— SHEETS

GRA19-

[illegible]

OWNER

NO MORE LEMONS, LP

6330 VARIET AVENUE, SUITE 101
WOODLAND HILLS, CA 91367
(818) 789-5550

PROJECT

KENSINGTON HOMES

AVENUE 1 & 32ND ST. W.
 LANCASTER, CA. 93536
 APN# 3107-012-127
 SPR 17-04, BUILDINGS:
 45248 32ND ST W
 45258 32ND ST W

SHEET TITLE
HORIZONTAL CONTROL PLAN

OWNER


PROJECT

SHEET TITLE

KENSINGTON HOMES

HORIZONTAL CONTROL PLAN

REGISTERED PROFESSIONAL ENGINEER
BARRY S. MUNZ
C44094
EXP. 6-30-21
CIVIL
STATE OF CALIFORNIA

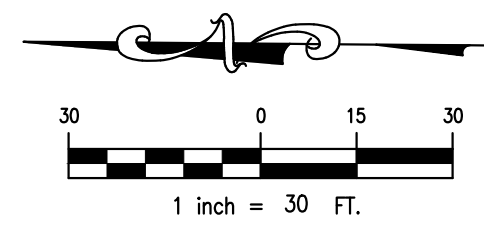
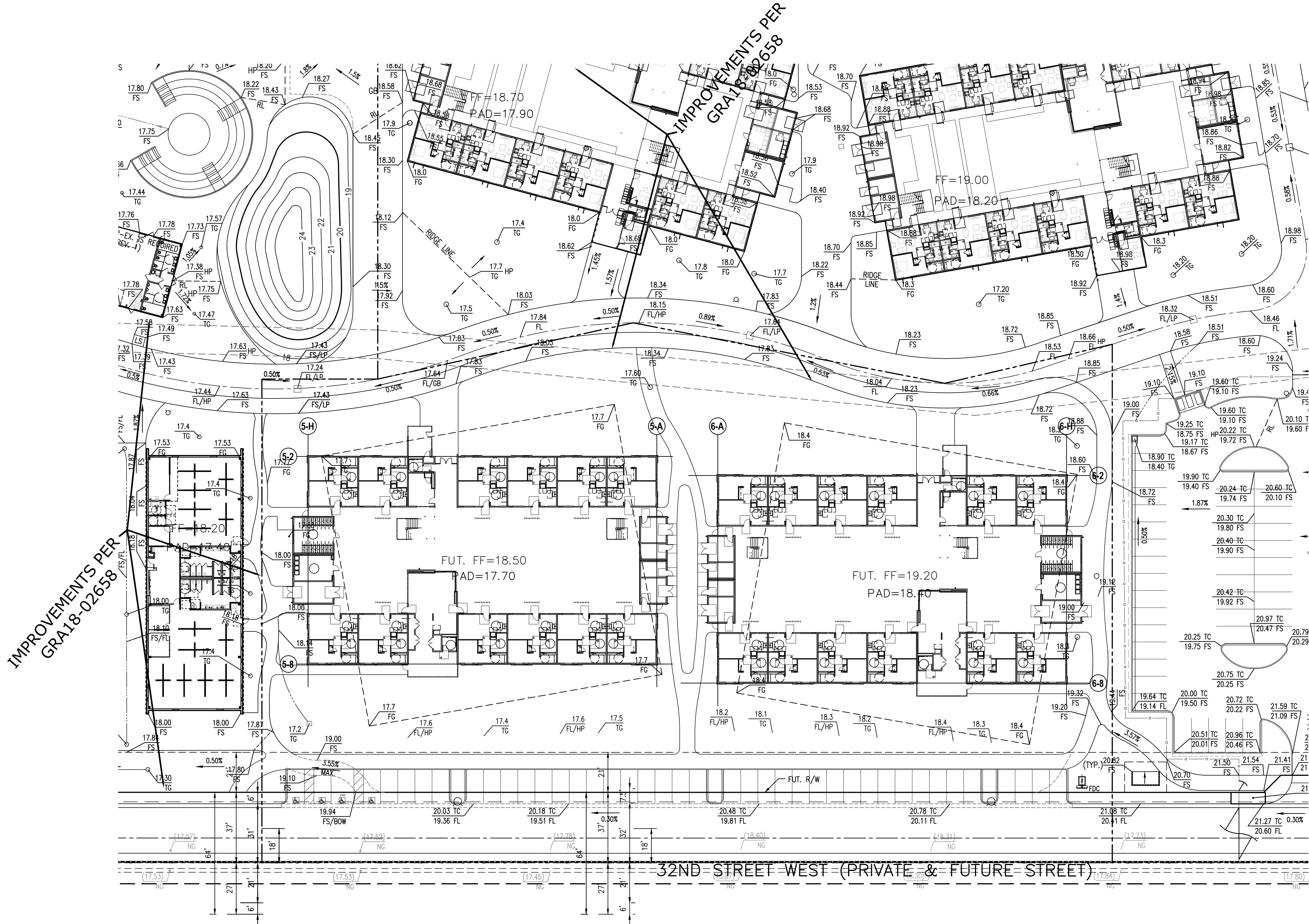
 antelope valley
engineering
inc.

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AWN:	RG/BM
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GRA19-

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REV.	DESCRIPTION	DATE	APPR.

OWNER
NO MORE LEMONS, LP 6330 VAREL AVENUE, SUITE 101 WOODLAND HILLS, CA 91367 (818) 789-5550

PROJECT
KENSINGTON HOMES AVENUE 1 & 32ND ST. W. LANCASTER, CA. 93536 APN# 3107-012-127 SPR 17-04, BUILDINGS: 45248 32ND ST W 45258 32ND ST W

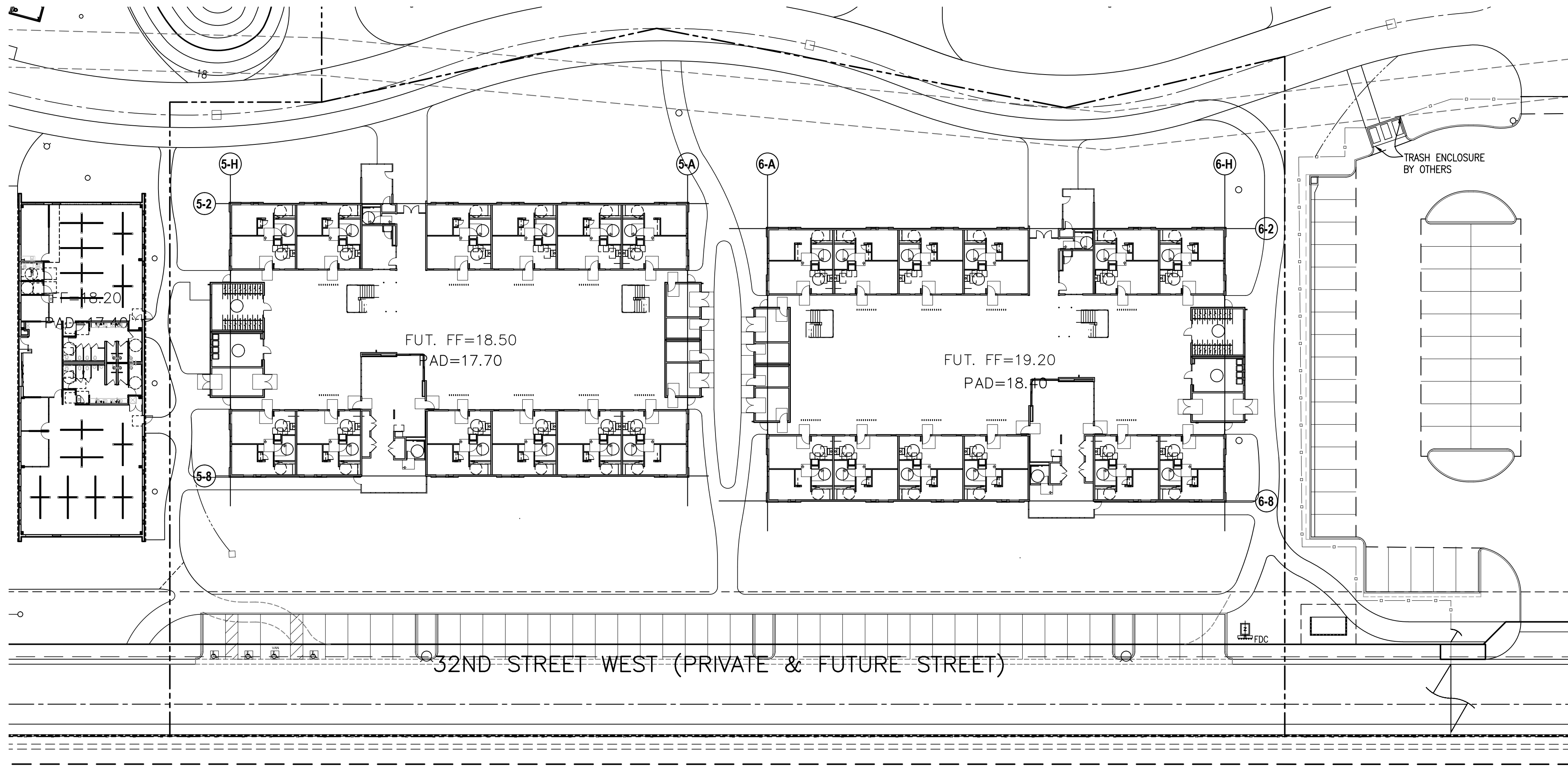
SHEET TITLE
GRADING PLAN



antelope valley engineering inc.
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OF	- SHEETS

GRA19-



CONSTRUCTION NOTES:



2 CONSTRUCT DECORATIVE 5" THICK PCC PAVEMENT (PATTERN PER ARCHITECTURAL PLANS, WITH NO. 3 BARS SPACED 24" O.C. BOTH WAYS) WITH 8" THICKENED EDGE ON 8" THICK AGGREGATE BASE (95% COMPACTION) ON MINIMUM 24" SUBGRADE (95% COMPACTION). REFER TO PROJECT GEOTECHNICAL REPORT. SEE DETAIL 2 ON SHT. C1.40



3 STONE PAVERS ON 1" CLEAN SAND ON 12" AGGREGATE BASE (MINIMUM 95% OF MAXIMUM DENSITY) ON 24" MINIMUM COMPACTED SUBGRADE (MINIMUM 95% OF MAXIMUM DENSITY). REFER TO PROJECT GEOTECHNICAL REPORT. SEE DETAIL 4 ON SHT. C1.40



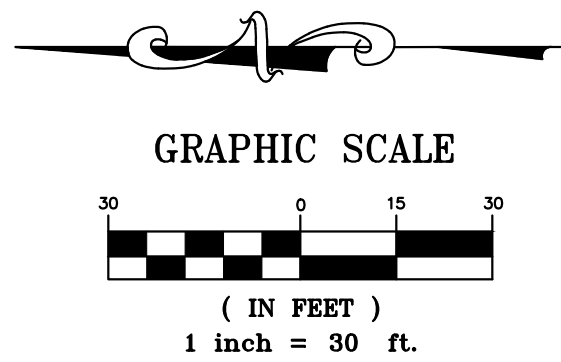
4 CONSTRUCT 4" THICK CONCRETE (WITH NO. 3 BARS SPACED 24" O.C. BOTH WAYS) WITH THICKENED EDGE, AND EXPANSION JOINTS AT EVERY 10' OR LESS, ON 18" MINIMUM COMPACTED SUBGRADE (MINIMUM 90% OF MAXIMUM DENSITY). REFER TO PROJECT GEOTECHNICAL REPORT.

GENERAL NOTES

1. APPROVAL OF THIS PLAN BY THE ENGINEER DOES NOT CONSTITUTE A REPRESENTATION AS TO ACCURACY OF, THE LOCATION OF, OR THE EXISTENCE OF OR NON-EXISTENCE OF, ANY UNDERGROUND UTILITY PIPE OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT.

NOTE TO CONTRACTOR:

PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL LOCATE AND VERIFY DEPTH OF EXISTING UTILITIES. NOTIFY ENGINEER IF LOCATIONS OR DEPTH CONFLICT WITH NEW WORK.



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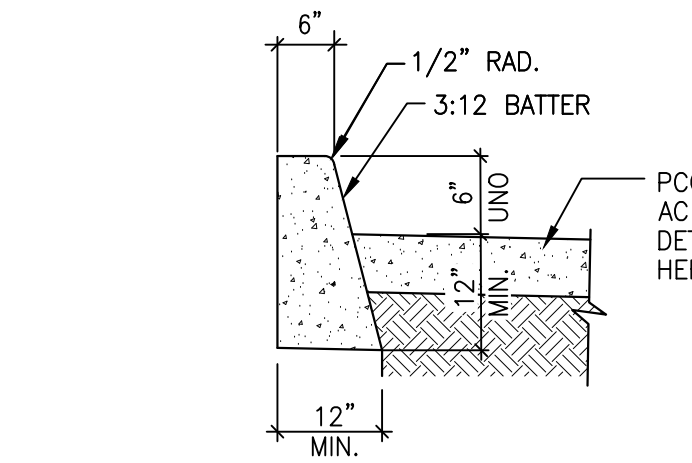
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SHEET TITLE
CONSTRUCTION PLAN

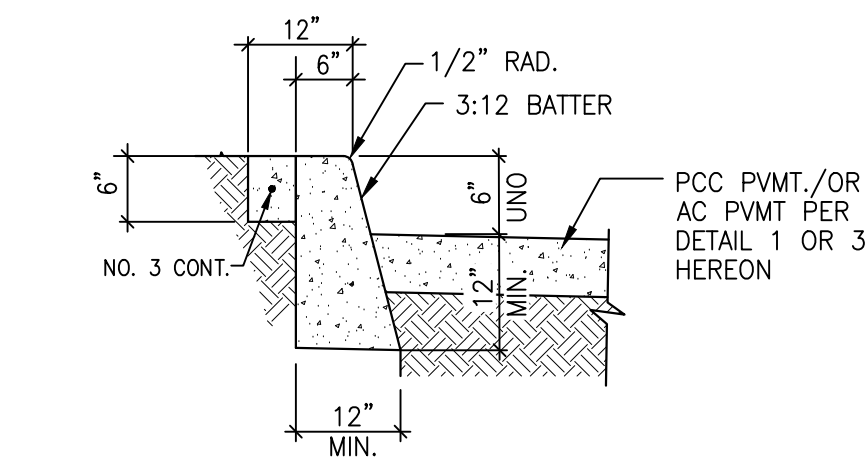


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Email: info@antelopevalleyengineering.com

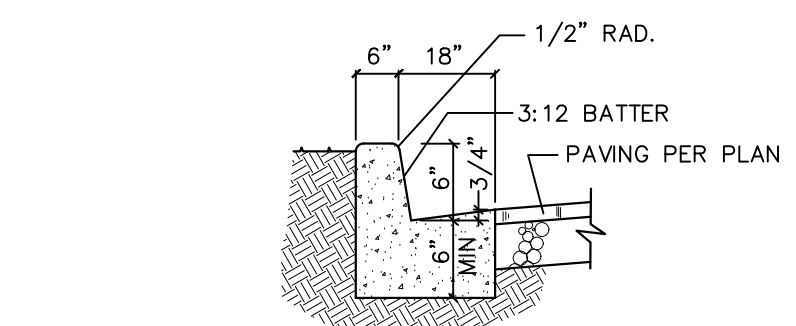
DRAWN:	RG/BM
DATE:	12-18-19
JOB No.:	19-154
SHEET:	C1.40
OF	- SHEETS



A P.C.C. CURB
SPPWC 120-2, A1-6 (150) OR A1-8 (200) NTS



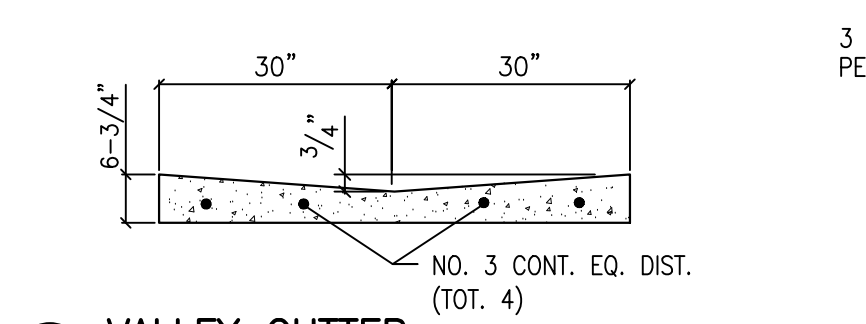
A1 P.C.C. CURB W/L.S. LANDING
SPPWC 120-2, A1-6 (150) OR A1-8 (200) MONOLITHIC OR SEPARATE POUR NTS



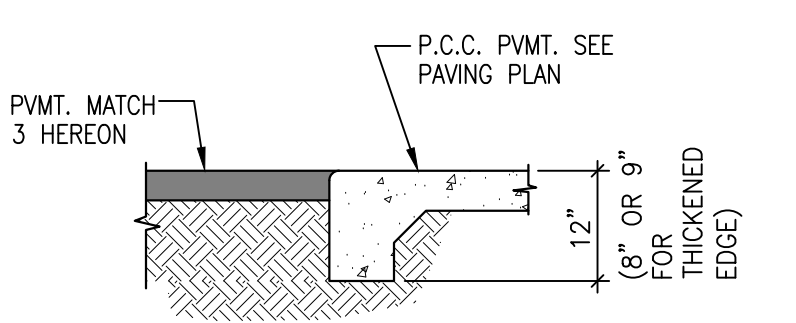
B P.C.C. CURB AND GUTTER
SPPWC 120-2,A1-150(6) OR A1-200(6) NTS

- ON-SITE CONSTRUCTION DETAIL NOTES:**
1. BOTTOM OF STRUCTURE TO BE SET ON BASE PER SOILS REPORT ON COMPACTED SUBGRADE.
 2. FINISH ALL EXPOSED SURFACES SMOOTH WITH 1/2" RADIUS ON CORNERS
 3. REFER TO SPPWC STD PLAN 112-2 FOR CURB, GUTTER AND SIDEWALK JOINTS. COMPLY WITH GEOTECHNICAL ENGINEERS RECOMMENDATIONS FOR SUBBASE/SUBGRADE PREPARATION.

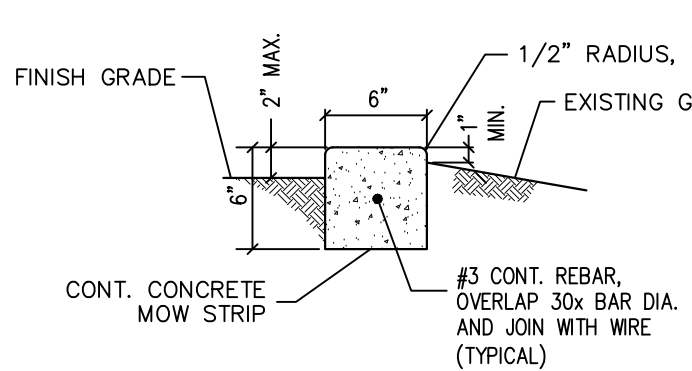
NOTE:
HEIGHT OF CURB FACE MAY VARY. SEE PLAN WHERE OCCURS



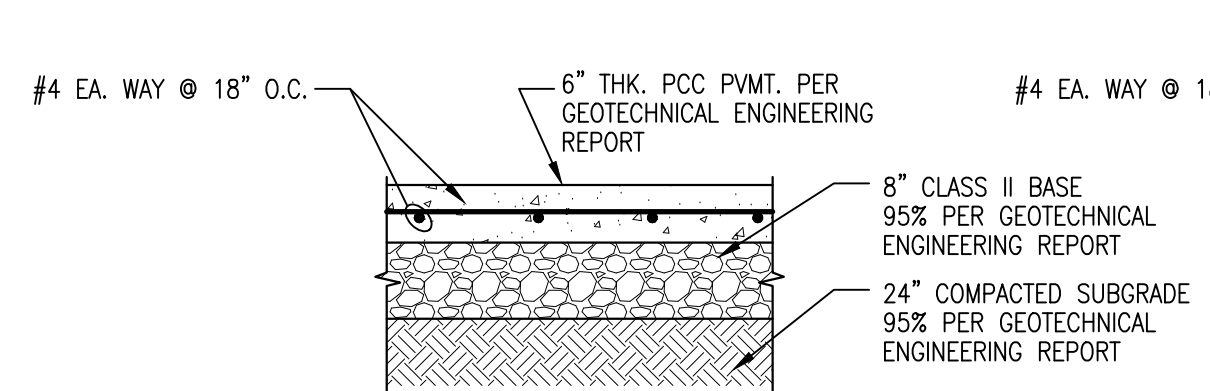
C1 VALLEY GUTTER
NTS



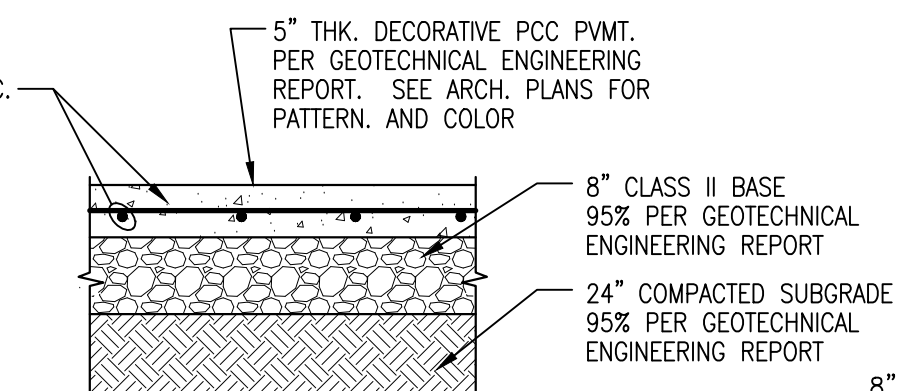
D PAVEMENT MATCH/EDGE DETAIL
NTS



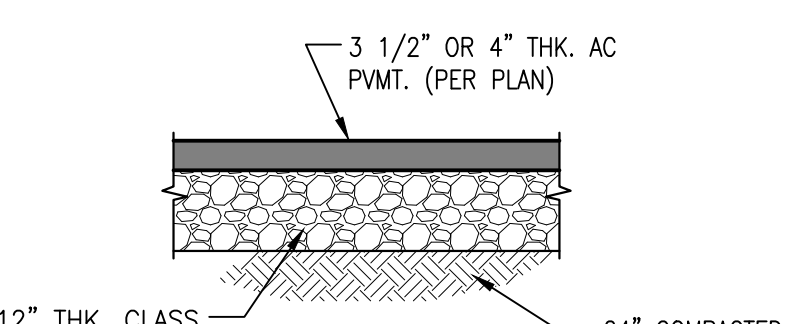
F P.C.C. MOW STRIP
WHERE NEEDED EVEN IF NOT SHOWN



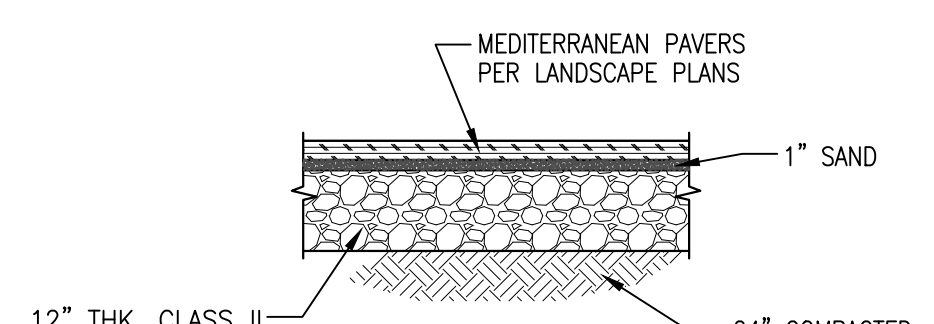
1 6" P.C.C. PAVEMENT DETAIL
NTS
JOINTS AT 10' MAX O.C. SEE ON-SITE CONSTRUCTION DETAIL
NOTE #3 HEREON. USE SLIP DOWELS OR SIMILAR AT COLD/CONST. JOINTS.



2 5" P.C.C. PAVEMENT DETAIL
NTS
JOINTS AT 10' MAX O.C. SEE ON-SITE CONSTRUCTION DETAIL
NOTE #3 HEREON. USE SLIP DOWELS OR SIMILAR AT COLD/CONST. JOINTS.



3 A.C. PAVEMENT DETAIL
NTS



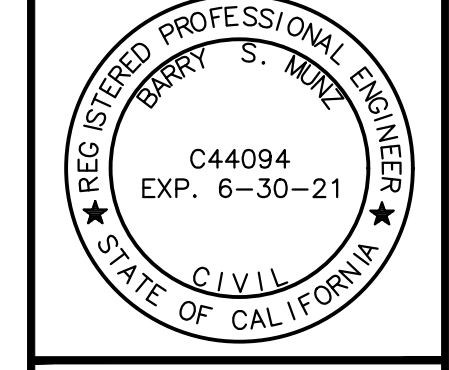
4 STONE PAVING DETAIL
NTS

REV.	DESCRIPTION	DATE	APPR.

OWNER
NO MORE LEMONS, LP 6330 VAREL AVENUE, SUITE 101 WOODLAND HILLS, CA 91367 (818) 789-5550

PROJECT
KENSINGTON HOMES AVENUE 1 & 32ND ST. W. LANCASTER, CA. 93536 APN# 3107-012-127 SPR 17-04, BUILDINGS: 45248 32ND ST W 45258 32ND ST W

SHEET TITLE
GRADING DETAILS



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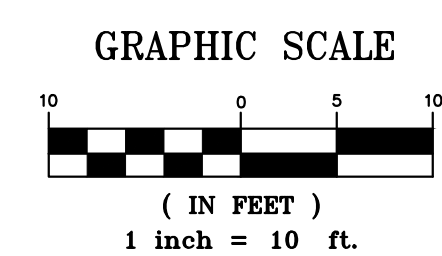
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DATE:	12-18-19
JOB No.:	19-154
SHEET:	C1.60
OF	- SHEETS

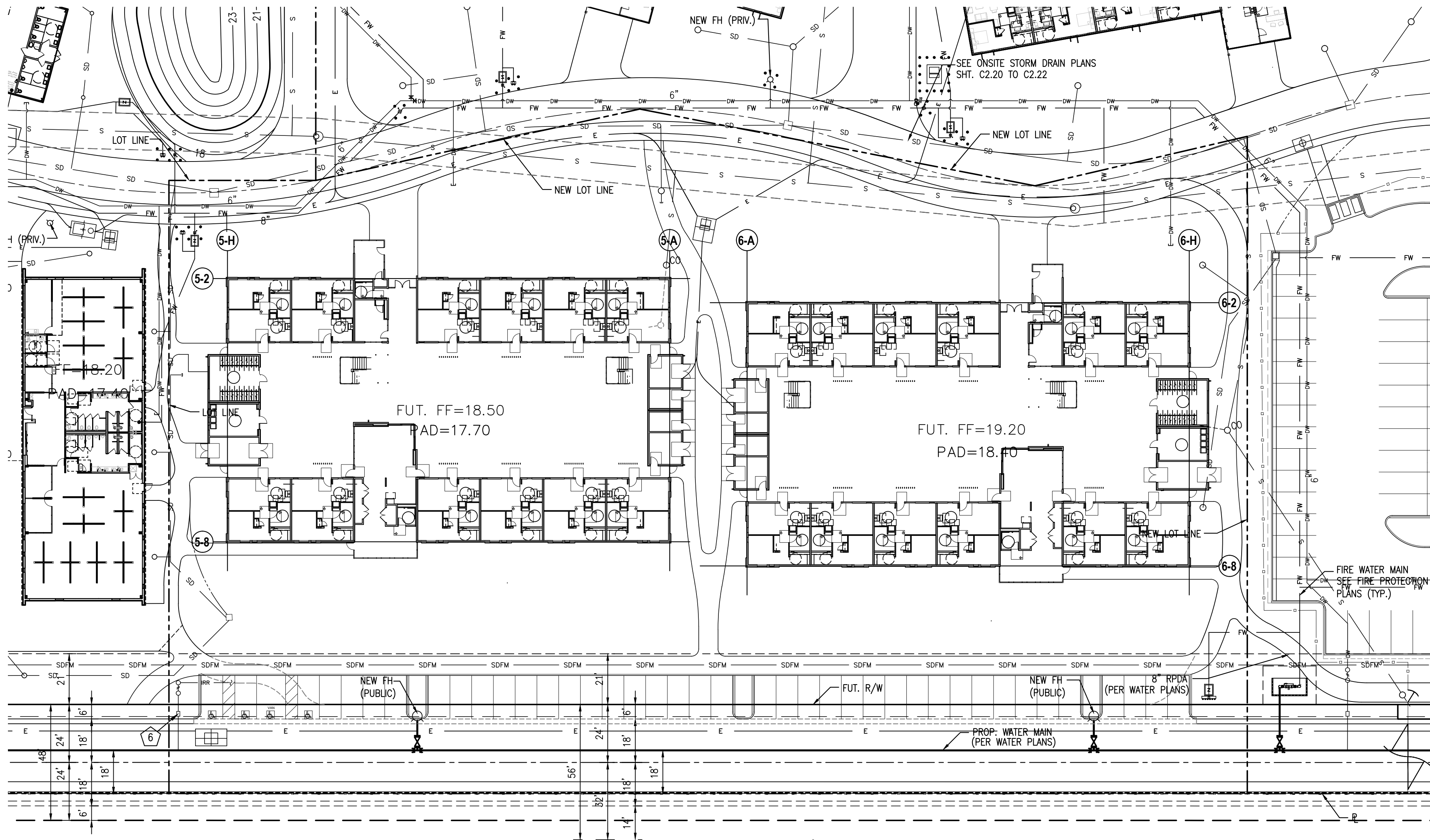


NOTE: SEE LANDSCAPING PLANS FOR THE VARIOUS SURFACES.

DRAWN:	RG/BM
DATE:	12-18-19
JOB No.:	19-154
SHEET:	C1.70
OF	— SHEETS

GRA19-





32ND STREET WEST (PRIVATE & FUTURE STREET)

LEGEND

- G PROPOSED GAS (SOUTHERN CALIFORNIA GAS CO.)
- DW PROPOSED DOMESTIC WATER
- S PROPOSED SEWER
- SD PROPOSED STORM DRAIN
- FW PROPOSED FIRE WATER
- 4"SL PROPOSED SEWER LATERAL (SIZE INDICATED)
- T/D PROPOSED TEL.,TV & DATA
- (S) EXIST. SEWER (CITY OF LANCASTER/ LA CO. SANITATION DISTRICT)
- (W) EXIST. WATER (LA CO. WATERWORKS DISTRICT)
- (G) EXIST. GAS (SOUTHERN CALIFORNIA GAS CO.)
- (TV) EXIST. CABLE TV (SPECTRUM CABLE)
- (T) EXIST. TELEPHONE (FRONTIER)
- (SD) EXIST. STORM DRAIN (CITY OF LANCASTER)

DOMESTIC WATER CONSTRUCTION NOTES:

1. INSTALL 2" WATER METER, SEE L.A. CO. WATERWORKS DISTRICT PLANS
2. INSTALL 3" APPROVED RPDA BACK FLOW PREVENTERS (WATTS LF957 OR EQ) WITH FITTINGS AS NEEDED, INSULATED, AND SCREENED WITH SOLID ENCLOSURE.
3. MANIFOLD SERVICES TOGETHER DOWNSTREAM OF BACK FLOW PREVENTERS, FITTINGS AS NEEDED.
4. CONSTRUCT 6" PVC DOMESTIC WATER MAIN PIPE (C-900), DR 18 OR SCH. 40 PIPE AND FITTINGS, AS NEEDED.
5. CONSTRUCT 3" PVC DOMESTIC WATER LATERAL PIPE SCH. 80 AND FITTINGS, AS NEEDED.
6. CONSTRUCT 4" PVC DOMESTIC WATER LATERAL PIPE (C-900), DR 18 OR SCH. 40 PIPE AND FITTINGS, AS NEEDED.
7. INSTALL ISOLATION VALVE, WITH ADJUSTABLE VALVE BOX, SEE LAOWD STD PLAN W-15.

NOTES: (SEE SHT. C2.00 FOR GEN. NOTES, DETAIL, ETC.)

1. ADD 2300' TO ELEVATIONS AS APPLICABLE.
2. SEE SHEET "C2.10" FOR "ON-SITE SEWER SYSTEM PLAN".
3. SEE SHEET "C2.20" FOR "ON-SITE STORM DRAIN PLAN".
4. SEE SEPARATE PLANS FOR "ON-SITE FIRE PROTECTION PLAN".
5. ALL WORK DONE WITHIN THE STREET RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.

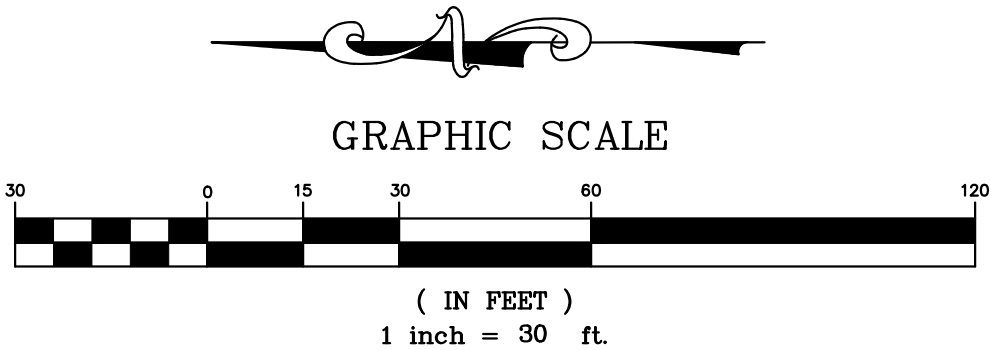
DRAWING SHEET INDEX:

- C1.00 GRADING TITLE SHEET
- C1.10 HORIZONTAL CONTROL PLAN
- C1.20 GRADING PLAN
- C1.30 CONSTRUCTION PLAN
- C1.40 GRADING DETAILS
- C1.50 PRECISE GRADES @ VILLA (TYPICAL)
- C2.00 COMPOSITE UTILITY_PH2
- C2.21 COMPOSITE UTILITY_PH2
- C2.10 "ON-SITE" SEWER_NORTH_PH2
- C2.20 "ON-SITE" STORM DRAIN PLAN_PH2
- C2.21 TYPICAL VILLA STORM DRAIN

DRY UTILITY NOTES:

1. SEE GAS CO. PLANS FOR ACTUAL LOCATION AND SIZE OF SUPPLY MAINS & LATERAL, ALSO SEE PLUMBING PLANS FOR GAS METERS, PIPES SIZES, ETC.
2. SEE SOE PLANS FOR LOCATIONS AND SIZES OF TRANSFORMER AND CAPACITOR PADS, MANHOLES AND CONDUITS. SEE ELECTRICAL PLANS FOR METER AND PANEL, ETC.
3. SEE COMMUNICATION / DATA CO. PLANS, IF APPLICABLE, FOR ACTUAL SIZE AND LOCATION OF CONDUIT. SEE ELECTRICAL PLANS FOR TELEPHONE BOARD, ETC.

FOR REFERENCE ONLY:
APPROVALS FOR PROJECT UTILITIES SHALL BE OBTAINED FROM APPROPRIATE AGENCIES.



NOTE TO CONTRACTOR:

PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY DEPTH AND HORIZONTAL LOCATIONS OF EXISTING UTILITIES. NOTIFY ENGINEER IF LOCATIONS OR DEPTH CONFLICT WITH NEW WORK.

DRY UTILITY EASEMENT NOTE:

THE UTILITY COMPANIES MAY REQUIRE EASEMENTS FOR THE UTILITY SERVICE LINES FROM THE POINT OF CONNECTION (POC) AT THE STREET TO THE METER OR BUILDING CONNECTION.



REV.	DESCRIPTION	DATE	APPR.

OWNER
NO MORE LEMONS, LP 6330 VAREL AVENUE, SUITE 101 WOODLAND HILLS, CA 91367 (818) 789-5550

PROJECT
KENSINGTON HOMES AVENUE 1 & 32ND ST. W. LANCASTER, CA. 93536 APN# 3107-012-127 SPR 17-04, BUILDINGS: 45248 32ND ST W 45258 32ND ST W

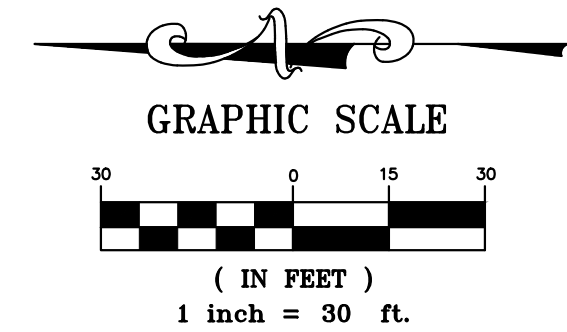
SHEET TITLE
ON-SITE COMPOSITE UTILITY PLAN



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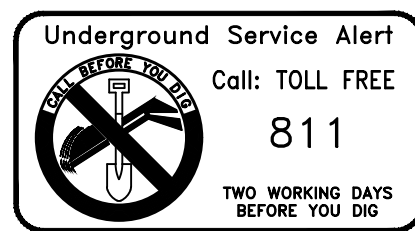
DRAWN:	RG/BM
DATE:	12-18-19
JOB No.:	19-154
SHEET:	C2.01
OF	- SHEETS

GRA19-



C1.00	GRADING TITLE SHEET
C1.10	HORIZONTAL CONTROL PLAN
C1.20	GRADING PLAN
C1.30	CONSTRUCTION PLAN
C1.40	GRADING DETAILS
C1.50	PRECISE GRADES @ VILLA (TYPICAL)
C2.00	COMPOSITE UTILITY_PH2
C2.21	COMPOSITE UTILITY_PH2
C2.10	"ON-SITE" SEWER_NORTH_PH2
C2.20	"ON-SITE" STORM DRAIN PLAN_PH2
C2.21	TYPICAL VILLA STORM DRAIN

ALL WORK DONE WITHIN THE
RIGHT-OF-WAY REQUIRES A
SEPARATE ENCROACHMENT
PERMIT.



**antelope valley
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DRAWN:	RG/BM
DATE:	12-18-19
JOB No.:	19-154
SHEET:	C2.10
OF	— SHEETS

GRA19-

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OWNER

NO MORE LEMONS, LP

6330 VAREL AVENUE, SUITE 101
WOODLAND HILLS, CA 91367
(818) 789-5550

PROJECT

KENSINGTON HOMES

AVENUE 1 & 32ND ST., W.
LANCASTER, CA. 93536
APN# 3107-012-127
SPR 17-04, BUILDINGS:
45248 32ND ST W
45258 32ND ST W

SHEET TITLE

ON-SITE SEWER PLAN

\\ms01\projects\19154\eng\grading\19154_P19-3_C2.20_ON-SITE_S0.dwg P19-3 C2.20 ON-SITE S0.dwg P19 Dec 20 2019 03:18:25 pm



NOTE TO CONTRACTOR:

PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY DEPTH AND HORIZONTAL LOCATIONS OF EXISTING UTILITIES. NOTIFY ENGINEER IF LOCATIONS OR DEPTH CONFLICT WITH NEW WORK.

NOTES:

1. ADD 2300' TO ELEVATIONS AS APPLICABLE.
2. SEE SHEET 'C2.10' FOR 'ON-SITE SEWER SYSTEM PLAN'.
3. SEE SHEET 'C2.20' FOR 'ON-SITE STORM DRAIN PLAN'.
4. SEE SEPARATE PLANS FOR 'ON-SITE FIRE PROTECTION PLAN'.
5. ALL WORK DONE WITHIN THE STREET RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.

STORM DRAIN CROSSING TABLE				
NODE	S.D. INVERT	S.S. INVERT	S.D.F.M. INVERT	PIPE CLEARANCE
(A)	8.43	-	13.20	3.15'
(B)	15.13	-	13.53	1.00'
(C)	13.72	11.76	-	1.00'
(D)	9.95	14.15	-	2.83'
(E)	10.66	12.57	-	0.54'
(F)	10.21	12.15	-	1.31'
(G)	13.25	14.67	-	.85'
(P)	15.14	13.20	-	1.41'
(Q)	9.60	13.07	-	1.83'

NOTE: THIS TABLE CONTINUED ON SHEET C2.21

LEGEND

- S PROPOSED SEWER
- SD PROPOSED STORM DRAIN
- SD FUTURE STORM DRAIN
- FW PROPOSED FIRE WATER
- 4"SL PROPOSED SEWER LATERAL (SIZE INDICATED)
- T/D PROPOSED TEL.,TV & DATA
- (S) EXIST. SEWER (CITY OF LANCASTER/ LA CO. SANITATION DISTRICT)
- (W) EXIST. WATER (LA COUNTY WATERWORKS)
- (G) EXIST. GAS (SOUTHERN CALIFORNIA GAS CO.)
- (TV) EXIST. CABLE TV (SPECTRUM)
- (T) EXIST. TELEPHONE (FRONTIER)
- (SD) EXIST. STORM DRAIN (CITY OF LANCASTER)
- SDFM PROPOSED STORM DRAIN FORCED MAIN(TO AVENUE-I)

STORM DRAIN NOTES

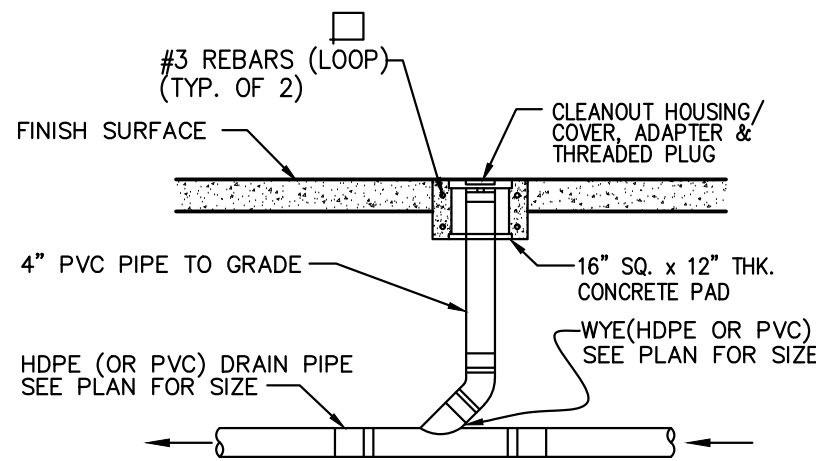
1. ALL MATERIAL SHALL BE INSPECTED AND ACCEPTED BY THE CITY INSPECTOR PRIOR TO BEING USED FOR CONSTRUCTION. THE CITY INSPECTOR HAS THE AUTHORITY TO REJECT THE USE OF MATERIALS WHICH ARE DAMAGED OR NOT IN COMPLIANCE WITH PLANS OR STANDARDS.
2. THE CONTRACTOR SHALL PROVIDE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES AND TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES AND IMPROVEMENTS FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK, TO THE SATISFACTION OF THE CITY ENGINEER.
3. ALL FITTINGS TO BE ECCENTRIC (FL TO FL) UNLESS NOTED OTHERWISE.
4. HDPE PIPE TO BE 'ADS INC. TYPE N-12' (WATER TIGHT) OR APPROVED EQUAL.
5. HDPE STORM DRAIN PIPE TO HAVE WATER TIGHT JOINTS AND FITTINGS.
6. PVC PIPE AND FITTINGS (MIN. SDR 35) CAN BE SUBSTITUTED FOR HDPE PIPE WHERE DEPTH OF COVER > 3.0 FT.
7. ALL CONSTRUCTION SHALL COMPLY WITH THE CALIFORNIA PLUMBING CODE, LATEST EDITION.
8. SEE 'BUILDING PLANS' FOR ROOF DRAINS DOWN SPOUT LOCATIONS.
9. IMPROVEMENTS WITHIN PUBLIC RIGHT OF WAY REQUIRE CITY ENCROACHMENT PERMIT.

STORM DRAIN CONSTRUCTION NOTES

5. INSTALL 8" HDPE DRAIN PIPE WITH REQUIRED FITTINGS.
6. INSTALL 6" HDPE DRAIN PIPE WITH REQUIRED FITTINGS.
10. CONSTRUCT 6" ATRIUM GRATE INLET WITH FITTINGS PER DETAIL ON SHEET C2.22 (NDS PRODUCTS OR EQUAL). INSTALL TEMP 4" DIA. GRAVEL APRON AROUND INLET UNTIL LANDSCAPED.
12. CONNECT TO ROOF DRAIN AND INSTALL CLEAN OUT PER TYPICAL DETAIL ON SHEET C2.20. (FITTINGS AS NECESSARY). COORDINATE WITH PLUMBING PLANS.
13. CONSTRUCT PCC SPLASH PAD AT ROOF DRAIN OVER-FLOW IN DIRT AREA.
15. INSTALL 4" HDPE DRAIN PIPE WITH REQUIRED FITTINGS. TO CONNECT TO ROOF DRAINS, WHERE APPLICABLE.
27. INSTALL 12"x8" TEE IN EXISTING SD PIPE AND CONNECT NEW LATERAL.
28. INSTALL 12"x6" TEE IN EXISTING SD PIPE AND CONNECT NEW LATERAL.
29. INSTALL 12"x4" TEE IN EXISTING SD PIPE AND CONNECT NEW LATERAL.
30. INSTALL 8"x8" TEE IN EXISTING SD PIPE AND CONNECT NEW LATERAL.
31. INSTALL 8"x6" TEE/CROSS, AS NEEDED, IN EXISTING SD PIPE AND CONNECT NEW LATERAL.
32. INSTALL 8"x4" TEE IN EXISTING SD PIPE AND CONNECT NEW LATERAL.

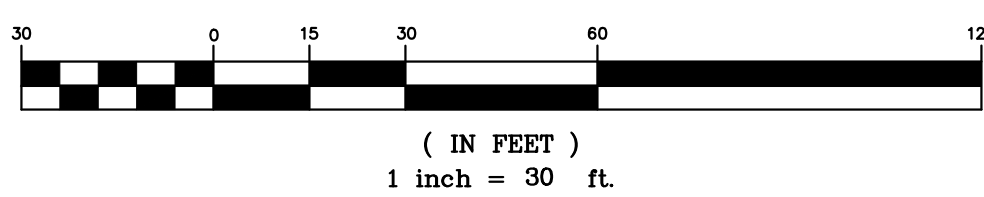
DRAWING SHEET INDEX:

- C1.00 GRADING TITLE SHEET
- C1.10 HORIZONTAL CONTROL PLAN
- C1.20 GRADING PLAN
- C1.30 CONSTRUCTION PLAN
- C1.40 GRADING DETAILS
- C1.50 PRECISE GRADES @ VILLA (TYPICAL)
- C2.00 COMPOSITE UTILITY_PH2
- C2.21 COMPOSITE UTILITY_PH2
- C2.10 "ON-SITE" SEWER_NORTH_PH2
- C2.20 "ON-SITE" STORM DRAIN PLAN_PH2
- C2.21 TYPICAL VILLA STORM DRAIN



TYPICAL STORM DRAIN
CLEANOUT DETAIL
(IN TRAFFIC AREAS)

GRAPHIC SCALE



REV.	DESCRIPTION	DATE	APPR.

OWNER

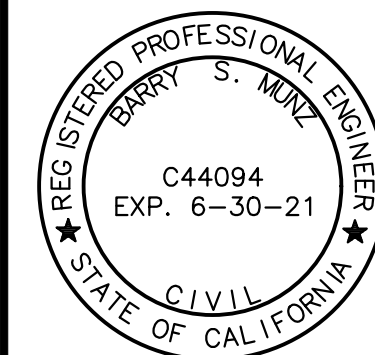
NO MORE LEMONS, LP
6330 VAREIL AVENUE, SUITE 101
WOODLAND HILLS, CA 91367
(818) 789-5550

PROJECT

KENSINGTON HOMES
AVENUE I & 32ND ST. W.
LANCASTER, CA. 93536
APN# 3107-012-127
SPR 17-04, BUILDINGS:
45248 32ND ST W
45258 32ND ST W

SHEET TITLE

ON-SITE STORM DRAIN

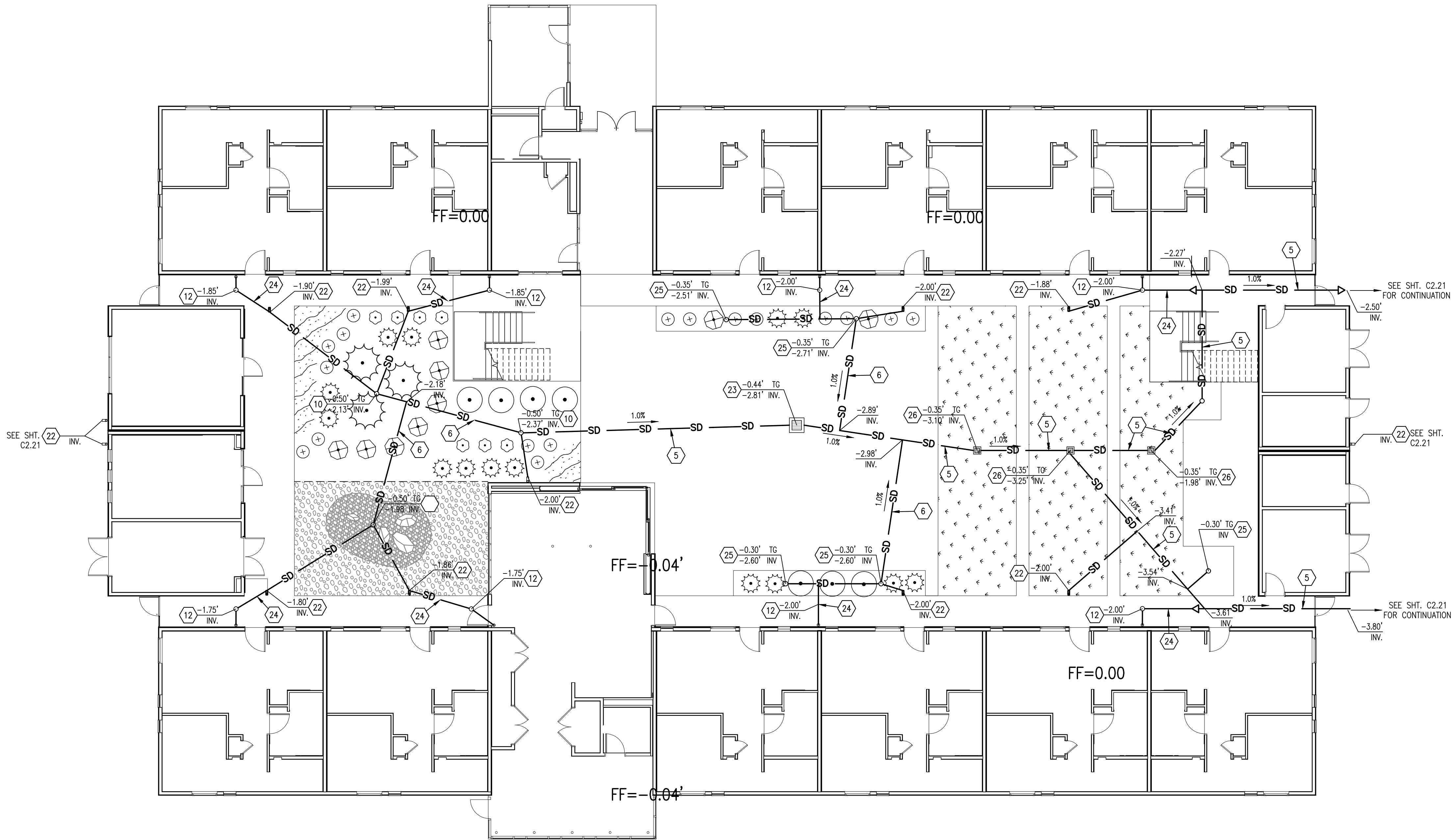


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DRAWN:	RG/BM
DATE:	12-18-19
JOB No.:	19-154
SHEET:	C2.20
1 OF	SHEETS

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TYPICAL VILLA ENLARGED PLAN

LEGEND

— S —	PROPOSED SEWER
— SD —	PROPOSED STORM DRAIN
— SD —	FUTURE STORM DRAIN
— FW —	PROPOSED FIRE WATER
— 4"SL —	PROPOSED SEWER LATERAL (SIZE INDICATED)
— T/D —	PROPOSED TEL.,TV & DATA
— (S) —	EXIST. SEWER (CITY OF LANCASTER/ LA CO. SANITATION DISTRICT)
— (W) —	EXIST. WATER (LA COUNTY WATERWORKS)
— (G) —	EXIST. GAS (SOUTHERN CALIFORNIA GAS CO.)
— (TV) —	EXIST. CABLE TV (SPECTRUM)
— (T) —	EXIST. TELEPHONE (FRONTIER)
— (SD) —	EXIST. STORM DRAIN (CITY OF LANCASTER)
— SDFM —	PROPOSED STORM DRAIN FORCED MAIN(TO AVENUE-I)

STORM DRAIN NOTES

1. ALL MATERIAL SHALL BE INSPECTED AND ACCEPTED BY THE CITY INSPECTOR PRIOR TO BEING USED FOR CONSTRUCTION. THE CITY INSPECTOR HAS THE AUTHORITY TO REJECT THE USE OF MATERIALS WHICH ARE DAMAGED OR NOT IN COMPLIANCE WITH PLANS OR STANDARDS.
2. THE CONTRACTOR SHALL PROVIDE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES AND TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES AND IMPROVEMENTS FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK, TO THE SATISFACTION OF THE CITY ENGINEER.
3. ALL FITTINGS TO BE ECCENTRIC (FL TO FL) UNLESS NOTED OTHERWISE.
4. HOPE PIPE TO BE ADS INC. TYPE N-12 (WATER TIGHT) OR APPROVED EQUAL.
5. HOPE STORM DRAIN PIPE TO HAVE WATER TIGHT JOINTS AND FITTINGS.
6. PVC PIPE AND FITTINGS (MIN. SDR 35) CAN BE SUBSTITUTED FOR HOPE PIPE WHERE DEPTH OF COVER > 3.0 FT.
7. ALL CONSTRUCTION SHALL COMPLY WITH THE CALIFORNIA PLUMBING CODE, LATEST EDITION.
8. SEE "BUILDING PLANS" FOR ROOF DRAINS DOWN SPOUT LOCATIONS.
9. IMPROVEMENTS WITHIN PUBLIC RIGHT OF WAY REQUIRE CITY ENCROACHMENT PERMIT.
10. ALL ROOF DRAIN DOWN SPOUTS TO BE CONNECTED TO STORM DRAIN SYSTEM.
11. COURTYARD PLANTER AREA MAY REQUIRE SUBDRAINS, COORDINATE WITH GEOTECHNICAL ENGINEER.

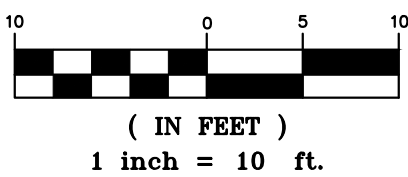
STORM DRAIN CONSTRUCTION NOTES

5. INSTALL 8" HOPE DRAIN PIPE WITH REQUIRED FITTINGS.
6. INSTALL 6" HOPE DRAIN PIPE WITH REQUIRED FITTINGS.
10. CONSTRUCT 6" ATRIUM GRATE INLET WITH FITTINGS PER DETAIL ON SHEET C2.22 (NDS PRODUCTS OR EQUAL).
11. INSTALL CLEAN OUT PER TYPICAL DETAIL HEREON.
12. CONNECT TO ROOF DRAIN AND INSTALL CLEAN OUT PER TYPICAL DETAIL HEREON. (FITTINGS AS NECESSARY). COORDINATE WITH PLUMBING PLANS.
22. INSTALL 4" HOPE DRAIN PIPE WITH REQUIRED FITTINGS TO CONNECT TO ROOF GUTTER DRAINS, WHERE APPLICABLE.
23. CONSTRUCT 12" SQ. GRATE INLET (NDS PRODUCT 1210 OR EQUAL) WITH MISC. FITTINGS AS REQUIRED. VERIFY COLOR WITH LANDSCAPING ARCH & OWNER.
24. INSTALL 4" HOPE OR SCH 40 PVC DRAIN PIPE WITH REQUIRED FITTINGS.
25. INSTALL 4" ATRIUM GRATE INLET WITH FITTINGS PER DETAIL ON SHEET C2.22 (NDS OR EQUAL).
26. CONSTRUCT 9" SQ. GRATE INLET WITH FITTINGS PER DETAIL ON SHEET C2.22 (NDS 990 OR EQUAL).

DRAWING SHEET INDEX:

C1.00	GRADING TITLE SHEET
C1.10	HORIZONTAL CONTROL PLAN
C1.20	GRADING PLAN
C1.30	CONSTRUCTION PLAN
C1.40	GRADING DETAILS
C1.50	PRECISE GRADES @ VILLA (TYPICAL)
C2.00	COMPOSITE UTILITY_PH2
C2.21	COMPOSITE UTILITY_PH2
C2.10	"ON-SITE" SEWER_NORTH_PH2
C2.20	"ON-SITE" STORM DRAIN PLAN_PH2
C2.21	TYPICAL VILLA STORM DRAIN

GRAPHIC SCALE

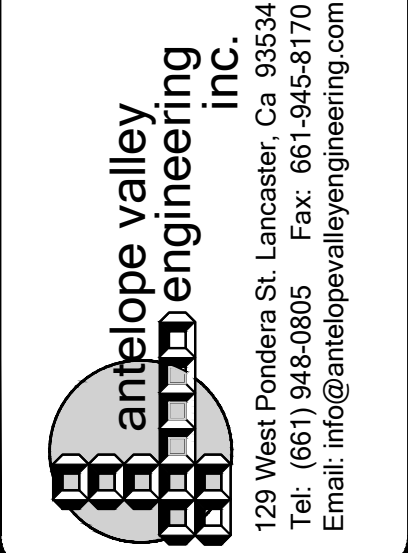


REV.	DESCRIPTION	DATE	APPR.

OWNER
NO MORE LEMONS, LP 6330 VAREIL AVENUE, SUITE 101 WOODLAND HILLS, CA 91367 (818) 789-5550

PROJECT
KENSINGTON HOMES AVENUE I & 32ND ST. W. LANCASTER, CA. 93536 APN# 3107-012-127 SPR 17-04, BUILDINGS: 45248 32ND ST W 45258 32ND ST W

SHEET TITLE
TYPICAL VILLA STORM DRAIN



DRAWN:	RG/BM
DATE:	12-18-19
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SHEET:	C2.21
OF	— SHEETS