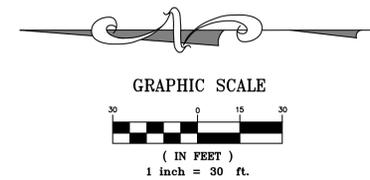


| COORDINATE TABLE | | | |
|------------------|----------|----------|------------------------|
| ID | NORTHING | EASTING | DESCRIPTION |
| 01 | 9911.19 | 11267.61 | SPK & WASH |
| 02 | 9910.20 | 9948.40 | INT. PROP. CL & EX. CL |
| 03 | 9909.18 | 8603.19 | MONUMENT |
| 04 | 9970.19 | 9935.41 | PL CORNER & CL |
| 05 | 11260.69 | 9935.49 | PL CORNER & CL |
| 06 | 11260.67 | 9967.49 | PL CORNER |
| 07 | 11260.38 | 10442.21 | PL CORNER |
| 08 | 9979.51 | 10443.18 | PL CORNER |
| 09 | 10927.76 | 9997.93 | VILLA 4 CORNER |
| 10 | 11031.77 | 10009.25 | VILLA 4 CORNER |
| 11 | 11057.93 | 10013.86 | VILLA 4 CORNER |
| 12 | 11108.13 | 10029.73 | VILLA 4 CORNER |
| 13 | 11110.53 | 10062.18 | VILLA 4 CORNER |
| 14 | 11102.54 | 10107.48 | VILLA 4 CORNER |
| 15 | 11089.18 | 10137.21 | VILLA 4 CORNER |
| 16 | 11035.00 | 10143.89 | VILLA 4 CORNER |
| 17 | 11008.84 | 10139.27 | VILLA 4 CORNER |
| 18 | 10908.81 | 10105.41 | VILLA 4 CORNER |
| 19 | 10909.01 | 10073.35 | VILLA 4 CORNER |
| 20 | 10916.99 | 10028.05 | VILLA 4 CORNER |
| 21 | 10994.63 | 10228.98 | VILLA 3 CORNER |
| 22 | 11026.23 | 10220.98 | VILLA 3 CORNER |
| 23 | 11072.23 | 10220.98 | VILLA 3 CORNER |
| 24 | 11103.77 | 10228.98 | VILLA 3 CORNER |
| 25 | 11110.68 | 10281.17 | VILLA 3 CORNER |
| 26 | 11110.68 | 10307.74 | VILLA 3 CORNER |
| 27 | 11103.77 | 10412.13 | VILLA 3 CORNER |
| 28 | 11072.23 | 10417.50 | VILLA 3 CORNER |
| 29 | 11026.23 | 10417.50 | VILLA 3 CORNER |
| 30 | 10994.63 | 10412.13 | VILLA 3 CORNER |
| 31 | 10978.65 | 10307.74 | VILLA 3 CORNER |
| 32 | 10978.65 | 10281.17 | VILLA 3 CORNER |
| 33 | 10896.80 | 10422.66 | BLDG#1 CORNER |
| 34 | 10848.10 | 10409.61 | BLDG#1 CORNER |
| 35 | 10932.87 | 10288.03 | BLDG#1 CORNER |
| 36 | 10884.18 | 10274.98 | BLDG#1 CORNER |
| 37 | 10818.09 | 10291.39 | BLDG#3 CORNER |
| 38 | 10828.45 | 10252.76 | BLDG#3 CORNER |
| 39 | 10712.53 | 10221.70 | BLDG#3 CORNER |
| 40 | 10702.18 | 10260.33 | BLDG#3 CORNER |
| 41 | 10708.41 | 10382.64 | BLDG#2 CORNER |
| 42 | 10708.41 | 10422.64 | BLDG#2 CORNER |
| 43 | 10618.41 | 10422.64 | BLDG#2 CORNER |
| 44 | 10618.41 | 10382.64 | BLDG#2 CORNER |

PARKING LOT NOTE:
SEE STRIPING PLAN DIMENSIONS AND CONFIGURATIONS ON ARCHITECTURAL SITE PLAN(S).



| REV. | DESCRIPTION | DATE | APPR. |
|------|-------------|------|-------|
| | | | |
| | | | |
| | | | |
| | | | |

OWNER
NO MORE LEMONS, LP
6330 VARIEL AVENUE, SUITE 101
WOODLAND HILLS, CA 91367
(818) 789-5550

PROJECT
KENSINGTON HOMES
AVENUE I & 32ND ST. W.
LANCASTER, CA. 93536
APN# 3107-012-127
SPR 17-04, BUILDINGS:
45248 32ND ST W
45258 32ND ST W

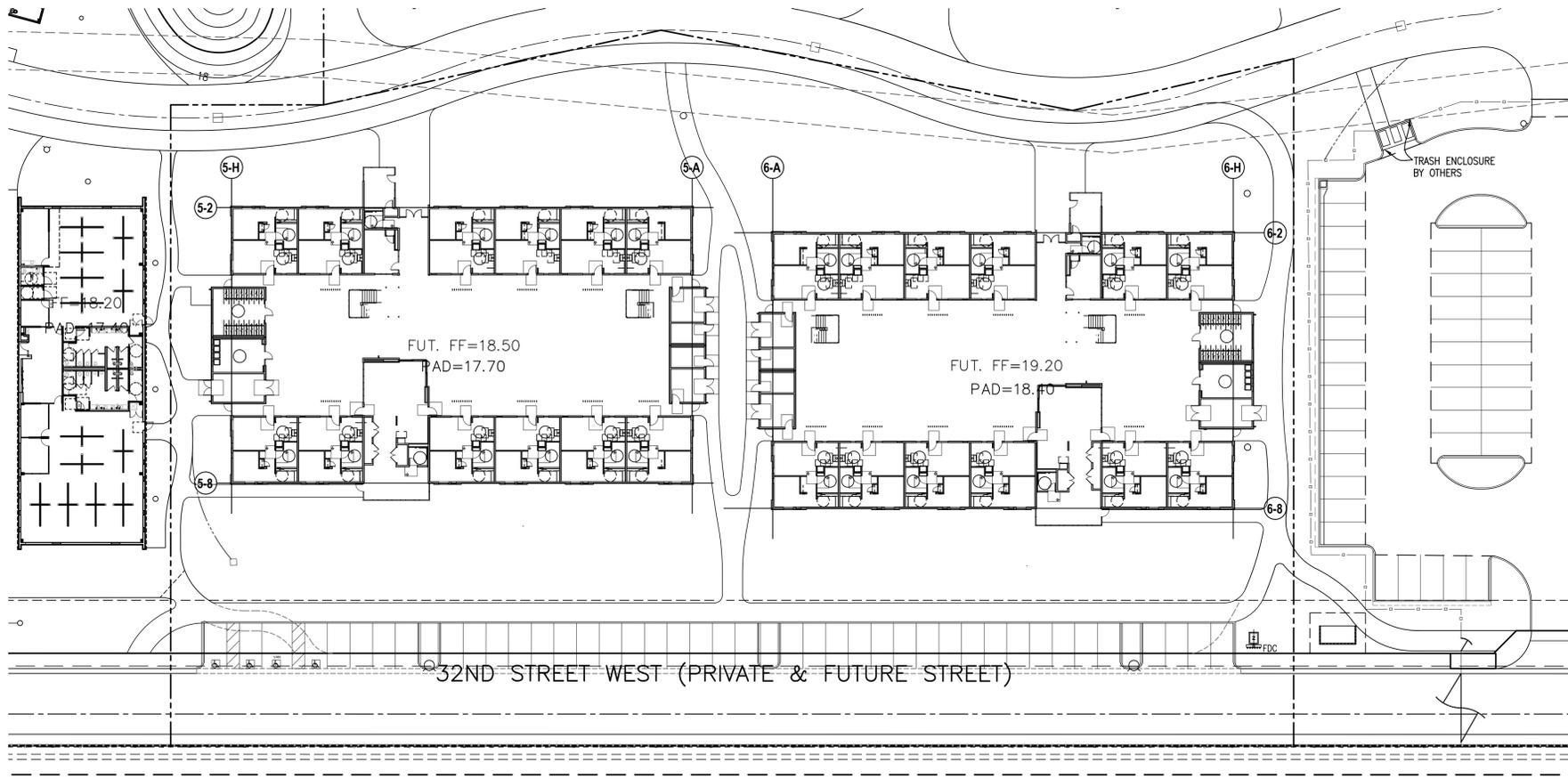
SHEET TITLE
HORIZONTAL CONTROL PLAN



antelope valley engineering inc
129 West Pasadena St. Lancaster, CA 93534
Tel: (661) 946-6605 Fax: (661) 946-5170
Email: info@antelopevalleyengineering.com

DRAWN: RG/BM
DATE: 12-18-19
JOB No.: 19-154
SHEET: C1.20
OF SHEETS

GRA19-



CONSTRUCTION NOTES:

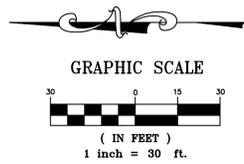
- 
 ② CONSTRUCT DECORATIVE 5" THICK PCC PAVEMENT (PATTERN PER ARCHITECTURAL PLANS, WITH NO. 3 BARS SPACED 24" O.C. BOTH WAYS) WITH 8" THICKENED EDGE ON 8" THICK AGGREGATE BASE (95% COMPACTION) ON MINIMUM 24" SUBGRADE (95% COMPACTION). REFER TO PROJECT GEOTECHNICAL REPORT. SEE DETAIL 2 ON SHT. C1.40
- 
 ③ STONE PAVERS ON 1" CLEAN SAND ON 12" AGGREGATE BASE (MINIMUM 95% OF MAXIMUM DENSITY) ON 24" MINIMUM COMPACTED SUBGRADE (MINIMUM 95% OF MAXIMUM DENSITY). REFER TO PROJECT GEOTECHNICAL REPORT. SEE DETAIL 4 ON SHT. C1.40
- 
 ④ CONSTRUCT 4" THICK CONCRETE (WITH NO. 3 BARS SPACED 24" O.C. BOTH WAYS) WITH THICKENED EDGE, AND EXPANSION JOINTS AT EVERY 10' OR LESS, ON 18" MINIMUM COMPACTED SUBGRADE (MINIMUM 90% OF MAXIMUM DENSITY). REFER TO PROJECT GEOTECHNICAL REPORT.

GENERAL NOTES

1. APPROVAL OF THIS PLAN BY THE ENGINEER DOES NOT CONSTITUTE A REPRESENTATION AS TO ACCURACY OF, THE LOCATION OF, OR THE EXISTENCE OF OR NON-EXISTENCE OF, ANY UNDERGROUND UTILITY PIPE OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT.

NOTE TO CONTRACTOR:

PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL LOCATE AND VERIFY DEPTH OF EXISTING UTILITIES. NOTIFY ENGINEER IF LOCATIONS OR DEPTH CONFLICT WITH NEW WORK.



| REV. | DESCRIPTION | DATE | APPR. |
|------|-------------|------|-------|
| | | | |
| | | | |
| | | | |
| | | | |

OWNER
NO MORE LEMONS, LP
 6330 VAREL AVENUE, SUITE 101
 WOODLAND HILLS, CA 91367
 (818) 789-5550

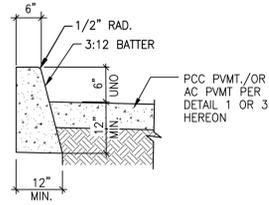
PROJECT
KENSINGTON HOMES
 AVENUE I & 32ND ST. W.
 LANCASTER, CA. 93536
 APR# 3107-012-127
 45248 32ND ST W
 45258 32ND ST W

SHEET TITLE
 CONSTRUCTION PLAN

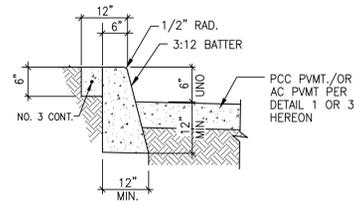


anelope valley engineering inc
 129 West Pasadena St. Lancaster, Ca 93534
 Tel: (671) 948-8885 Fax: (671) 948-5170
 Email: info@anelopevalleyengineering.com

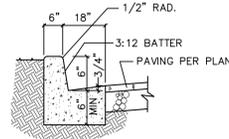
DRAWN: RG/BM
DATE: 12-18-19
JOB No.: 19-154
SHEET: C1.40
 OF - SHEETS



A P.C.C. CURB
SPPWC 120-2, A1-6 (150) OR A1-8 (200) NTS



A1 P.C.C. CURB W/L.S. LANDING
SPPWC 120-2, A1-6 (150) OR A1-8 (200) NTS
MONOLITHIC OR SEPARATE POUR

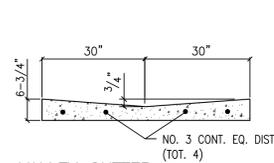


B P.C.C. CURB AND GUTTER
SPPWC 120-2A1-150(6) OR A1-200(6) NTS

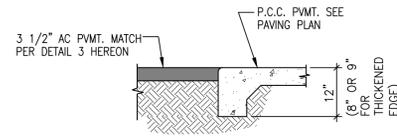
ON-SITE CONSTRUCTION DETAIL NOTES:

- BOTTOM OF STRUCTURE TO BE SET ON BASE PER SOILS REPORT ON COMPACTED SUBGRADE
- FINISH ALL EXPOSED SURFACES SMOOTH WITH 1/2" RADIUS ON CORNERS
- REFER TO SPPWC STD PLAN 112-2 FOR CURB, GUTTER AND SIDEWALK JOINTS. COMPLY WITH GEOTECHNICAL ENGINEERS RECOMMENDATIONS FOR SUBBASE/SUBGRADE PREPARATION.

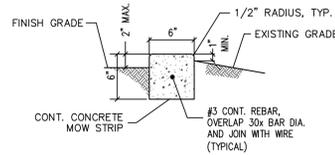
NOTE:
HEIGHT OF CURB FACE MAY VARY. SEE PLAN WHERE OCCURS



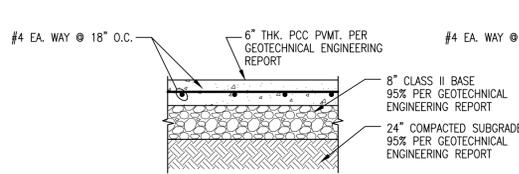
C1 VALLEY GUTTER
NTS



D PAVEMENT MATCH/EDGE DETAIL
NTS

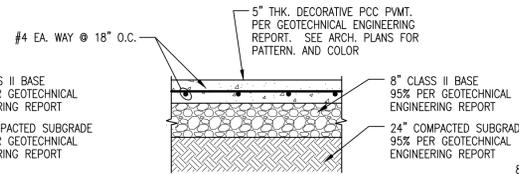


F P.C.C. MOW STRIP
WHERE NEEDED EVEN IF NOT SHOWN



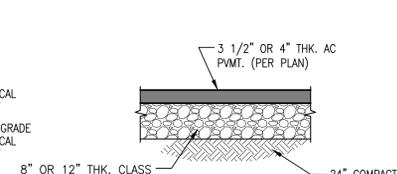
1 6\"/>

JOINTS AT 10' MAX O.C. SEE ON-SITE CONSTRUCTION DETAIL NOTE #3 HEREON. USE SLIP DOWELS OR SIMILAR AT COLD/CONST. JOINTS.

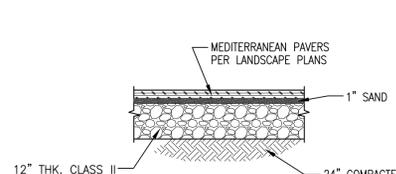


2 5\"/>

JOINTS AT 10' MAX O.C. SEE ON-SITE CONSTRUCTION DETAIL NOTE #3 HEREON. USE SLIP DOWELS OR SIMILAR AT COLD/CONST. JOINTS.



3 A.C. PAVEMENT DETAIL
NTS



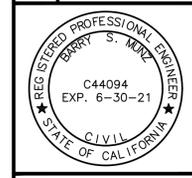
4 STONE PAVING DETAIL
NTS

| REV. | DESCRIPTION | DATE | APPR. |
|------|-------------|------|-------|
| | | | |
| | | | |
| | | | |
| | | | |

| OWNER |
|---|
| NO MORE LEMONS, LP 6330 VAREL AVENUE, SUITE 101 WOODLAND HILLS, CA 91367 (818) 789-5550 |

| PROJECT |
|---|
| KENNINGTON HOMES AVENUE I & 32ND ST. W. LANCASTER, CA. 93536 APR# 3107-012-127 SPR 17-04, BUILDINGS: 45248 32ND ST W 45258 32ND ST W |

| SHEET TITLE |
|------------------------|
| GRADING DETAILS |



antelope valley engineering inc
129 West Pasadena St. Lancaster, Ca 93534
Tel: (671) 948-6665 Fax: (671) 948-5170
Email: info@antelopevalleyengineering.com

| | |
|----------|--------------|
| DRAWN: | RG/BM |
| DATE: | 12-18-19 |
| JOB No.: | 19-154 |
| SHEET: | C1.60 |
| OF | SHEETS |

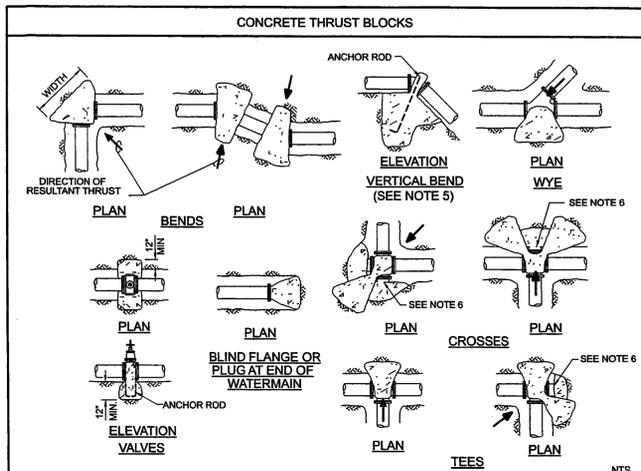


TABLE I
MINIMUM BEARING AREAS IN SQ FT *

| MAIN SIZE | TEE -- 90° BEND | 45° BEND | 22 1/2° BEND |
|-----------|-----------------|----------|--------------|
| 6" | 4 | 4 | 3 |
| 8" | 5 | 4 | 3 |
| 10" | 9 | 8 | 4 |
| 12" | 12 | 9 | 6 |

* BASED ON 150 PSI WWP PRESSURE & SOIL BEARING LOADS OF 2000 PSF. THE RATIO OF WIDTH TO HEIGHT SHALL NOT EXCEED 1 TO 1.

** TEES, PLUGS, CAPS, AND HYDRANTS.

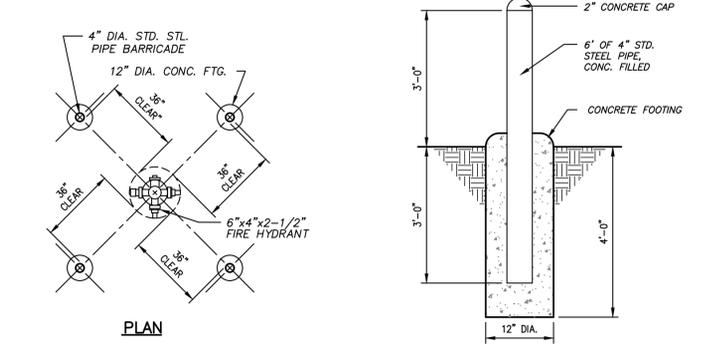
TABLE II

| SOIL TYPE | MAX ALLOWABLE SOIL BEARING VALUES | FACTORS FOR INCREASING AREAS IN TABLE I |
|---------------------|-----------------------------------|---|
| LOOSE SAND | 500 PSF | 4 |
| SOFT SANDY CLAY | 1000 PSF | 2 |
| ADOBIE | 1000 PSF | 1 |
| COMPACT FINE SAND | 2000 PSF | 1 |
| COMPACT COARSE SAND | 2000 PSF | 1 |
| MEDIUM STIFF CLAY | 2000 PSF | 1 |

*** THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE SAFE SOIL BEARING VALUES AND THE POSITION AND SIZE OF BEARING AREAS.

**** BASED ON 2 FEET MINIMUM DEPTH OF COVER OVER THE PIPE.

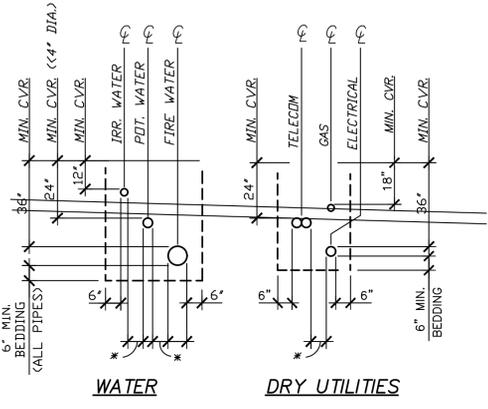
- GENERAL NOTES:**
- ALL ANCHOR AND THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED SOIL.
 - MINIMUM ALLOWABLE WATER PRESSURE FOR DESIGN OF THRUST BLOCKS IS 150 PSI. BEARING AREA INCREASES DIRECTLY WITH INCREASE IN PRESSURE.
 - ALL CONCRETE USED IN THRUST BLOCKS SHALL ATTAIN 2000 PSI STRENGTH.
 - ALL ANCHOR RODS SHALL BE REINFORCING STEEL AND A MINIMUM OF 1/2 INCH IN DIAMETER.
 - USE ANCHOR BLOCKS AT VERTICAL BENDS WHEN PIPE IS ABOVE OR BELOW GROUND. SIZE OF BLOCK AND ROD SHALL BE AS SHOWN ON THE PLANS OR AS DETERMINED BY THE DISTRICT.
 - USE 30 POUND FELT TO INSURE COLD JOINT.
 - CONCRETE SHALL NOT COME INTO DIRECT CONTACT WITH ASBESTOS-CEMENT PIPE.
 - FOR PIPE GREATER THAN 12" IN DIAMETER, ENGINEER IS TO SUBMIT CALCULATIONS FOR APPROVAL.



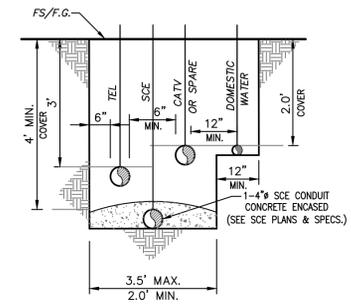
FIRE HYDRANT BARRICADES
(AS REQUIRED)

BARRICADE NOTES:

- SEE PLANS FOR NUMBER OF BARRICADES TO BE USED.
- THE EXACT LOCATION OF BARRICADES MAY BE CHANGED BY THE ENGINEER/INSPECTOR IN THE FIELD.
- THE STEEL ABOVE GROUND SHALL BE PAINTED A MINIMUM OF TWO FIELD COATS OF RED LEAD OR ZINC CHROMATE PRIMER.
- TWO FINISH COATS OF "COUNTY OF LOS ANGELES FIRE DEPT. RED" SHALL BE USED FOR FIRE HYDRANT BARRICADES.
- BARRICADES FOR FLUSHOUTS, AIR RELEASE VALVES, AND VAULT VENTS SHALL BE GIVEN TWO FINISH COATS OF METALLIC GREEN PAINT.



TYPICAL UTILITY DEPTHS AND CLEARANCES
NOT TO SCALE
NOTE: SEE PLAN FOR ACTUAL SIZE AND LOCATIONS



TYPICAL JOINT TRENCH DETAILS
NOT TO SCALE

GAS SYSTEM NOTES: (PLANS BY OTHERS)

- INSTALLATION OF THE GAS PIPING AND CONNECTIONS SHALL COMPLY WITH THE LATEST EDITION OF THE CALIFORNIA PLUMBING CODE (C.P.C.).
- GAS PIPING BELOW GRADE SHALL BE:
 - STANDARD WEIGHT WROUGHT IRON OR STEEL (GALVANIZED OR BLACK) AND FITTINGS WITH U.P.C. APPROVED MACHINE WRAP.
 - APPROVED WEIGHT PLASTIC PIPE (PVC OR PE) AND FITTINGS WITH TRACER WIRE.
 NOTE: IT IS RECOMMENDED THAT PIPES LARGER THAN 3" DIAMETER BE STEEL PIPE.
- GAS PIPING ABOVE GRADE SHALL BE SCHEDULE 40 GALVANIZED STEEL PIPE AND FITTINGS.
- VALVES SHALL BE ROCKWELL-NORDSTROM PLUG LOCKS (OR AS APPROVED) AND SHALL BE ACCESSIBLE.
- ALL HORIZONTAL METALLIC PIPING SHALL HAVE AT LEAST 12" OF COVER. ALL PLASTIC GAS PIPING SHALL HAVE AT LEAST 18" OF COVER.
- TEE'S SHALL BE THE SIZE OF THE LARGEST PIPE CONNECTING TO IT. PIPE SIZES SHALL BE REDUCED DOWNSTREAM OF TEE'S, WHERE SHOWN.

DRY UTILITY NOTES: (PLANS BY OTHERS)

- SEE GAS CO. PLANS FOR ACTUAL LOCATION AND SIZE OF SUPPLY MAINS & LATERAL. ALSO SEE PLUMBING PLANS FOR GAS METERS, PIPES SIZES, ETC.
- SEE SCE PLANS FOR LOCATIONS AND SIZES OF TRANSFORMER AND CAPACITOR PADS, MANHOLES AND CONDUITS. SEE ELECTRICAL PLANS FOR METER AND PANEL, ETC.
- SEE COMMUNICATION / DATA CO. PLANS, IF APPLICABLE, FOR ACTUAL SIZE AND LOCATION OF CONDUIT. SEE ELECTRICAL PLANS FOR TELEPHONE BOARD, ETC.

FOR REFERENCE ONLY:
APPROVALS FOR PROJECT UTILITIES SHALL BE OBTAINED FROM APPROPRIATE AGENCIES.

GENERAL NOTES:

- ALL FITTINGS AND JOINTS TO HAVE PRESSURE RATINGS COMPATIBLE WITH PIPE USED.
- ALL WATER OR FIRE PROTECTION LINES SHALL HAVE A PRESSURE RATING NOT LESS THAN 150 PSI.**
- ALL WATER AND FIRE PROTECTION LINES SHALL CONFORM TO AWWA C900 AND C200 AND NFPA 24.
- ALL UNDERGROUND WATER PIPING TO BE CEMENT MORTAR LINED (C.M.L.) AND CEMENT MORTAR COATED (C.M.C.) EXCEPT PVC.
- ALL ABOVE GROUND WATER PIPING IS TO BE C.M.L. AND PAINTED EXCEPT PVC.
- ALL ABOVE GROUND WATER PIPING IS TO BE INSULATED TO THE SATISFACTION OF THE OWNER (OR THEIR REPRESENTATIVE).
- SUBMITTALS TO THE OWNER OR THEIR REPRESENTATIVE IS REQUIRED FOR ALL MATERIAL PRIOR TO PURCHASE UNLESS NOTIFIED OTHERWISE.
- ALL VALVES SHALL BE OF LISTED TYPE.
- VALVES WHICH ARE PART OF THE FIRE PROTECTION LINES SHALL BE TAGGED (OR SOME OTHER MEANS OF IDENTIFICATION) TO INDICATE ITS FUNCTION AND WHAT IT CONTROLS.
- ALL PIPES, VALVES AND FITTINGS TO CONFORM TO CALIFORNIA PLUMBING CODE REGULATIONS AND L.A. COUNTY PLUMBING CODE REGULATIONS, AS APPLICABLE.
- 10' MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN THE POTABLE WATER AND SEWER MAINS WHEN PARALLEL UNLESS NOTED OTHERWISE.
- A FLUSHOUT SHALL BE INSTALLED AT THE END OF DEAD END POTABLE WATER MAINS, WHERE SHOWN. (2" FLUSHOUT FOR LINES ≤ 4" DIA., 4" FLUSHOUT FOR LINES > 4" DIA.)
- AN AIR RELEASE/VACUUM RELIEF VALVE (ARV) SHALL BE INSTALLED AT HIGH POINTS OF MAINS, WHERE SHOWN.
NOTE: TEMPORARY FLUSHOUTS OR ARV'S CAN BE RELOCATED IF IN WORKING CONDITION AS PHASING REQUIRES.
- ALL MAIN/LATERAL INSTALLATIONS SHALL CONFORM TO THE MANUFACTURER'S RECOMMENDATIONS (THRUST BLOCKS, FITTINGS, JOINTS, ETC.)
- ALL MAINS AND UTILITY LINES SHALL HAVE IDENTIFICATION TAPE INSTALLED 4"-6" DIRECTLY ABOVE THE LINE AS FOLLOWS:
ORANGE - GAS
RED - ELECTRICAL
BLUE - FIRE PROTECTION
WHITE - POTABLE WATER
YELLOW - IRRIGATION WATER
GREEN - SEWER
- INSTALL TEMPORARY PLUGS AND THRUST BLOCKS AT THE END OF ALL MAINS AND LATERALS, AS NECESSARY FOR PHASING.
- ALL VALVES 4" OR LARGER SHALL HAVE 2" SQUARE OPERATING NUTS AND VALVE BOXES INSTALLED, EXCEPT FOR PIV'S.
- ALL LATERALS SHALL HAVE ISOLATION VALVES INSTALLED AT THE CONNECTION TO THE MAIN WHERE SHOWN ON PLANS.
- ISOLATION VALVES (P.I.V.'S) FOR THE FIRE PROTECTION SYSTEM ARE SHOWN ON THE FIRE PROTECTION PLANS.
- INSTALL A MINIMUM OF (1) C.F. OF GRAVEL UNDER THE AUTOMATIC DRIP ON THE CHECK VALVE FOR F.D.C. CONNECTIONS, AS APPLICABLE.
- SLEEVES SHALL BE INSTALLED FOR IRRIGATION SYSTEM PRIOR TO PAVING.
- ALL WATER LATERALS TO BUILDINGS SHALL BE STANDARD SERVICE CONNECTIONS WITH CORPORATION STOPS.
- UTILITY "AS-BUILTS" SHALL BE PROVIDED TO ENGINEER PRIOR TO RELEASE OF FINAL PAYMENT.
- ANY PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL.

ELECTRICAL NOTES: (PLANS BY OTHERS)

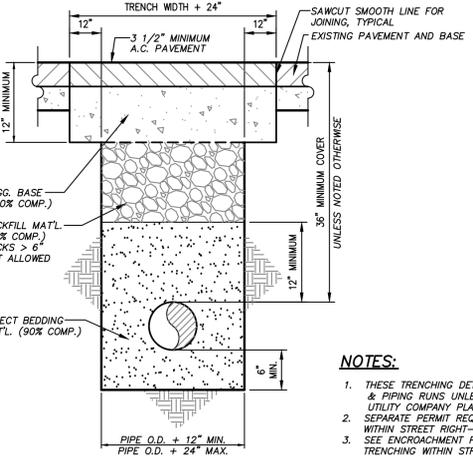
ALL WORK DONE PER THESE DRAWINGS AND MATERIALS SHALL COMPLY WITH ALL CURRENT APPLICABLE CODES AND ORDINANCES. USE NEW MATERIALS ONLY U.N.O. EXISTING MATERIALS MAY BE REUSED IF THEY CONFORM TO ALL APPLICABLE CURRENT CODES. OTHERWISE, CONTRACTOR WILL REPLACE MATERIALS AS REQUIRED. CONTRACTOR SHALL INSPECT AND REPAIR ALL EXISTING MATERIALS, EQUIPMENT, & FIXTURES TO REMAIN TO INSURE PROPER WORKING ORDER.

- RELOCATE LIGHT FIXTURES, BOXES, CONDUITS AND CONTROLS AS REQUIRED FOR NEW CONSTRUCTION.
- ELECTRICAL CONTRACTOR SHALL DETERMINE ELECTRICAL LOADS AND PROVIDE SINGLE LINE DIAGRAMS, PANEL DIAGRAMS, POWER AND LIGHTING PLANS AS REQUIRED AND OBTAIN ALL ELECTRICAL PERMITS.
- ALL CONDUIT FOR TELEPHONE SHALL HAVE PULL WIRES. HOMERUN J. BOXES SHALL BE IDENTIFIED. ALL PHONE CONDUIT MUST COMPLY WITH FCC REQUIREMENTS.
- ALL CONDUCTORS SHALL BE STANDARD ANNEALED COPPER WIRE, CONDUCTORS #8 AWG AND SMALLER SHALL HAVE TYPE "THHN", "THWN" INSULATION, AND CONDUCTORS #6 OR LARGER SHALL HAVE TYPE "XHWH" INSULATION.
- ELECTRICAL CONTRACTOR SHALL PROVIDE GROUNDING IN AN APPROVED MANNER AS REQUIRED BY CODE. PROVIDE BONDING JUMPERS FOR ALL RECEPTACLES.
- THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND MAKE A SURVEY OF EXISTING CONDITIONS WHICH MAY AFFECT OR BE AFFECTED BY THE WORK UNDER THIS SECTION PRIOR TO BEGINNING WORK. REFERENCES MADE ON THE DRAWINGS TO EXISTING CONDITIONS SHALL BE SUBJECT TO VERIFICATION BY CONTRACTOR IN HIS SURVEY AND IN THE PROGRESS OF THE WORK.
- FURNISH, INSTALL, AND MAINTAIN TEMPORARY SERVICE. THIS ENGINEER ASSUMES NO LIABILITY OR RESPONSIBILITY TO ANYONE WHATSOEVER AS A RESULT OF ANY INACCURACIES OR CHANGES IN INFORMATION FURNISHED TO ENGINEER ON WHICH THESE PLANS WERE BASED.
- ALL MATERIAL AND ELECTRICAL EQUIPMENT EXPOSED TO WEATHER SHALL BE WEATHERPROOFED.

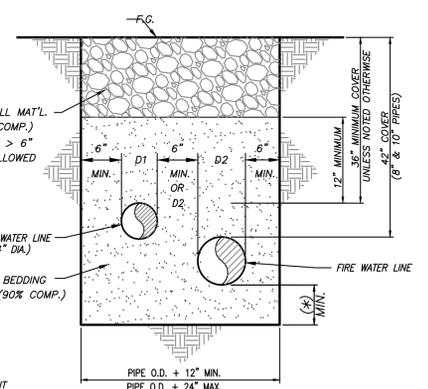
PROJECT COMPLETION:
BEFORE THE WORK SHALL BE ACCEPTED, CONTRACTOR SHALL DEMONSTRATE TO ALL PARTIES CONCERNED THAT THE ENTIRE WORK IS COMPLETE AND IN PROPER OPERATING CONDITION AND THAT THE CONTRACT HAS BEEN FULLY AND PROPERLY EXECUTED.

DRAWING SHEET INDEX:

- C1.00 GRADING TITLE SHEET
- C1.10 HORIZONTAL CONTROL PLAN
- C1.20 GRADING PLAN
- C1.30 CONSTRUCTION PLAN
- C1.40 GRADING DETAILS
- C1.50 PRECISE GRADES @ VILLA (TYPICAL)
- C2.00 COMPOSITE UTILITY_PH2
- C2.21 COMPOSITE UTILITY_PH2
- C2.10 "ON-SITE" SEWER_NORTH_PH2
- C2.20 "ON-SITE" STORM DRAIN PLAN_PH2
- C2.21 TYPICAL VILLA STORM DRAIN



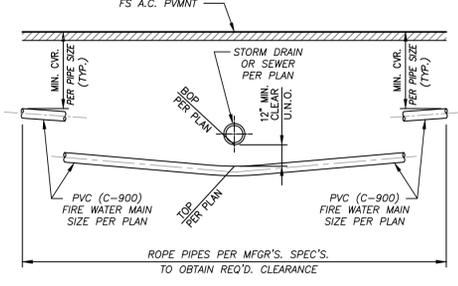
UNDER EXISTING PAVEMENT



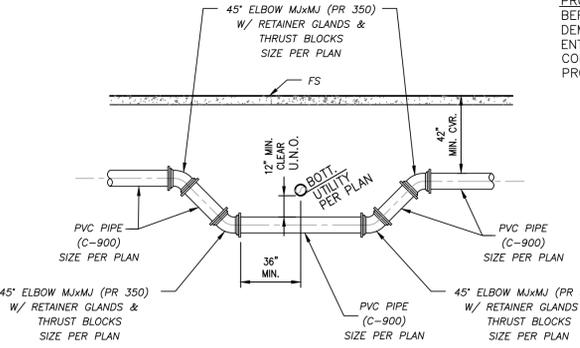
IN DIRT AREAS (AND MULTIPLE PIPES)

- NOTES:**
- THESE TRENCHING DETAILS APPLY TO ALL CONDUIT & PIPING RUNS UNLESS SPECIFIED OTHERWISE BY UTILITY COMPANY PLANS.
 - SEPARATE PERMIT REQUIRED FOR ALL WORK DONE WITHIN STREET RIGHT-OF-WAY.
 - SEE ENCROACHMENT PERMIT SPECIFICATIONS FOR TRENCHING WITHIN STREET RIGHT-OF-WAY.

TYPICAL TRENCHING DETAILS
NOT TO SCALE



TYPICAL ROPING DETAIL
NOT TO SCALE



TYPICAL DIPPED CROSSING DETAIL
N.T.S.

NOTE:
CONTRACTOR MAY BE ABLE TO ROPE PIPE, PER MANUFACTURER'S SPECIFICATIONS, IN LIEU OF DIPPED CROSSINGS.

| REV. | DESCRIPTION | DATE | APPR. |
|------|-------------|------|-------|
| | | | |

OWNER

NO MORE LEMONS, LP
6330 VAREIL AVENUE, SUITE 101
WOODLAND HILLS, CA 91367
(818) 789-5550

PROJECT

KENNINGTON HOMES
AVENUE I & 32ND ST. W.
LANCASTER, CA. 93536
APR# 3107-012-127
SPR 17-04, BUILDINGS:
45248 32ND ST W
45258 32ND ST W

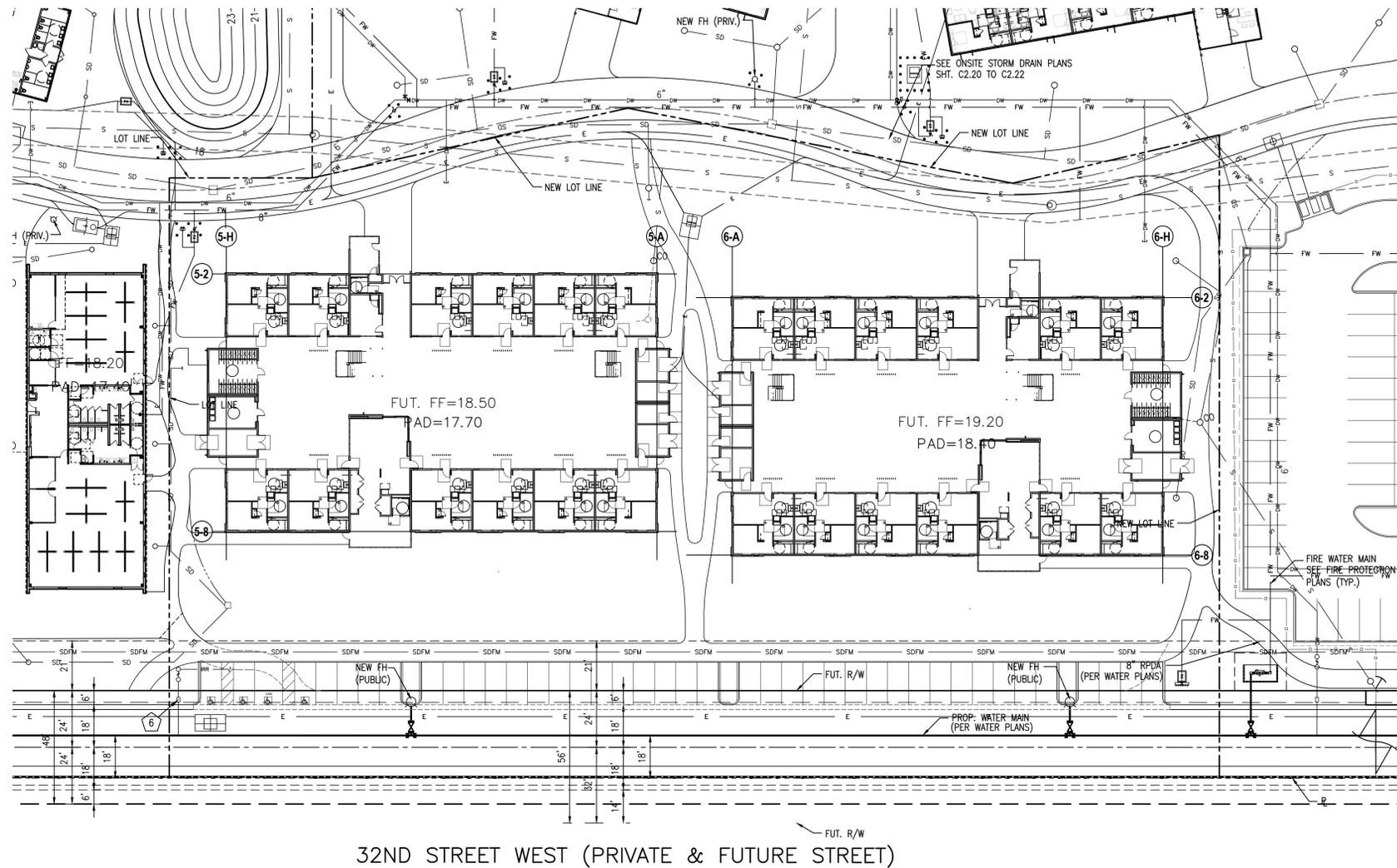
SHEET TITLE

ON-SITE COMPOSITE UTILITY PLAN

REGISTERED PROFESSIONAL ENGINEER
BARRY S. MERRILL
C44094
EXP. 6-30-21
CIVIL
STATE OF CALIFORNIA

anelope valley engineering inc.
129 West Piedras St. Lancaster, CA 93534
Tel: (661) 946-8686 Fax: (661) 946-5170
Email: info@anelopevalleyengineering.com

DRAWN: RG/BM
DATE: 12-18-19
JOB No.: 19-154
SHEET: C2.00
OF - SHEETS



LEGEND

- G — PROPOSED GAS (SOUTHERN CALIFORNIA GAS CO.)
- DW — PROPOSED DOMESTIC WATER
- S — PROPOSED SEWER
- SD — PROPOSED STORM DRAIN
- FW — PROPOSED FIRE WATER
- 4"SL — PROPOSED SEWER LATERAL (SIZE INDICATED)
- T/D — PROPOSED TEL., TV & DATA
- (S) — EXIST. SEWER (CITY OF LANCASTER/ LA CO. SANITATION DISTRICT)
- (W) — EXIST. WATER (LA CO. WATERWORKS DISTRICT)
- (G) — EXIST. GAS (SOUTHERN CALIFORNIA GAS CO.)
- (TV) — EXIST. CABLE TV (SPECTRUM CABLE)
- (T) — EXIST. TELEPHONE (FRONTIER)
- (SD) — EXIST. STORM DRAIN (CITY OF LANCASTER)

DOMESTIC WATER CONSTRUCTION NOTES:

1. INSTALL 2" WATER METER, SEE L.A. CO. WATERWORKS DISTRICT PLANS
2. INSTALL 3" APPROVED RPDA BACK FLOW PREVENTERS (WATTS LF957 OR EQ.) WITH FITTINGS AS NEEDED, INSULATED, AND SCREENED WITH SOLID ENCLOSURE.
3. MANIFOLD SERVICES TOGETHER DOWNSTREAM OF BACK FLOW PREVENTERS, FITTINGS AS NEEDED.
4. CONSTRUCT 6" PVC DOMESTIC WATER MAIN PIPE (C-900), DR 18 OR SCH. 40 PIPE AND FITTINGS, AS NEEDED.
5. CONSTRUCT 3" PVC DOMESTIC WATER LATERAL PIPE SCH. 80 AND FITTINGS, AS NEEDED.
6. CONSTRUCT 4" PVC DOMESTIC WATER LATERAL PIPE (C-900), DR 18 OR SCH. 40 PIPE AND FITTINGS, AS NEEDED.
7. INSTALL ISOLATION VALVE, WITH ADJUSTABLE VALVE BOX, SEE LAOWD STD PLAN W-15.

NOTES: (SEE SHT. C2.00 FOR GEN. NOTES, DETAIL, ETC.)

1. ADD 2300' TO ELEVATIONS AS APPLICABLE.
2. SEE SHEET "C2.10" FOR "ON-SITE SEWER SYSTEM PLAN".
3. SEE SHEET "C2.20" FOR "ON-SITE STORM DRAIN PLAN".
4. SEE SEPARATE PLANS FOR "ON-SITE FIRE PROTECTION PLAN".
5. ALL WORK DONE WITHIN THE STREET RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.

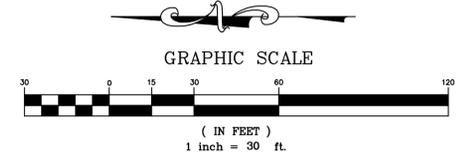
DRAWING SHEET INDEX:

- C1.00 GRADING TITLE SHEET
- C1.10 HORIZONTAL CONTROL PLAN
- C1.20 GRADING PLAN
- C1.30 CONSTRUCTION PLAN
- C1.40 GRADING DETAILS
- C1.50 PRECISE GRADES @ VILLA (TYPICAL)
- C2.00 COMPOSITE UTILITY_PH2
- C2.21 COMPOSITE UTILITY_PH2
- C2.10 "ON-SITE" SEWER_NORTH_PH2
- C2.20 "ON-SITE" STORM DRAIN_PLAN_PH2
- C2.21 TYPICAL VILLA STORM DRAIN

DRY UTILITY NOTES:

1. SEE GAS CO. PLANS FOR ACTUAL LOCATION AND SIZE OF SUPPLY MAINS & LATERAL, ALSO SEE PLUMBING PLANS FOR GAS METERS, PIPES SIZES, ETC.
2. SEE SOE PLANS FOR LOCATIONS AND SIZES OF TRANSFORMER AND CAPACITOR PADS, MANHOLES AND CONDUITS. SEE ELECTRICAL PLANS FOR METER AND PANEL, ETC.
3. SEE COMMUNICATION / DATA CO. PLANS, IF APPLICABLE, FOR ACTUAL SIZE AND LOCATION OF CONDUIT. SEE ELECTRICAL PLANS FOR TELEPHONE BOARD, ETC.

FOR REFERENCE ONLY:
 APPROVALS FOR PROJECT UTILITIES SHALL BE OBTAINED FROM APPROPRIATE AGENCIES.



NOTE TO CONTRACTOR:
 PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY DEPTH AND HORIZONTAL LOCATIONS OF EXISTING UTILITIES. NOTIFY ENGINEER IF LOCATIONS OR DEPTH CONFLICT WITH NEW WORK.

DRY UTILITY EASEMENT NOTE:
 THE UTILITY COMPANIES MAY REQUIRE EASEMENTS FOR THE UTILITY SERVICE LINES FROM THE POINT OF CONNECTION (POC) AT THE STREET TO THE METER OR BUILDING CONNECTION.



| REV. | DESCRIPTION | DATE | APPR. |
|------|-------------|------|-------|
| | | | |
| | | | |
| | | | |
| | | | |

OWNER
NO MORE LEMONS, LP
 6330 VAREL AVENUE, SUITE 101
 WOODLAND HILLS, CA 91367
 (818) 789-5550

PROJECT
KENSINGTON HOMES
 AVENUE 1 & 32ND ST. W.
 LANCASTER, CA. 93536
 APN# 3107-012-127
 SPR 17-04, BUILDINGS:
 45248 32ND ST W
 45258 32ND ST W

SHEET TITLE
ON-SITE COMPOSITE UTILITY PLAN

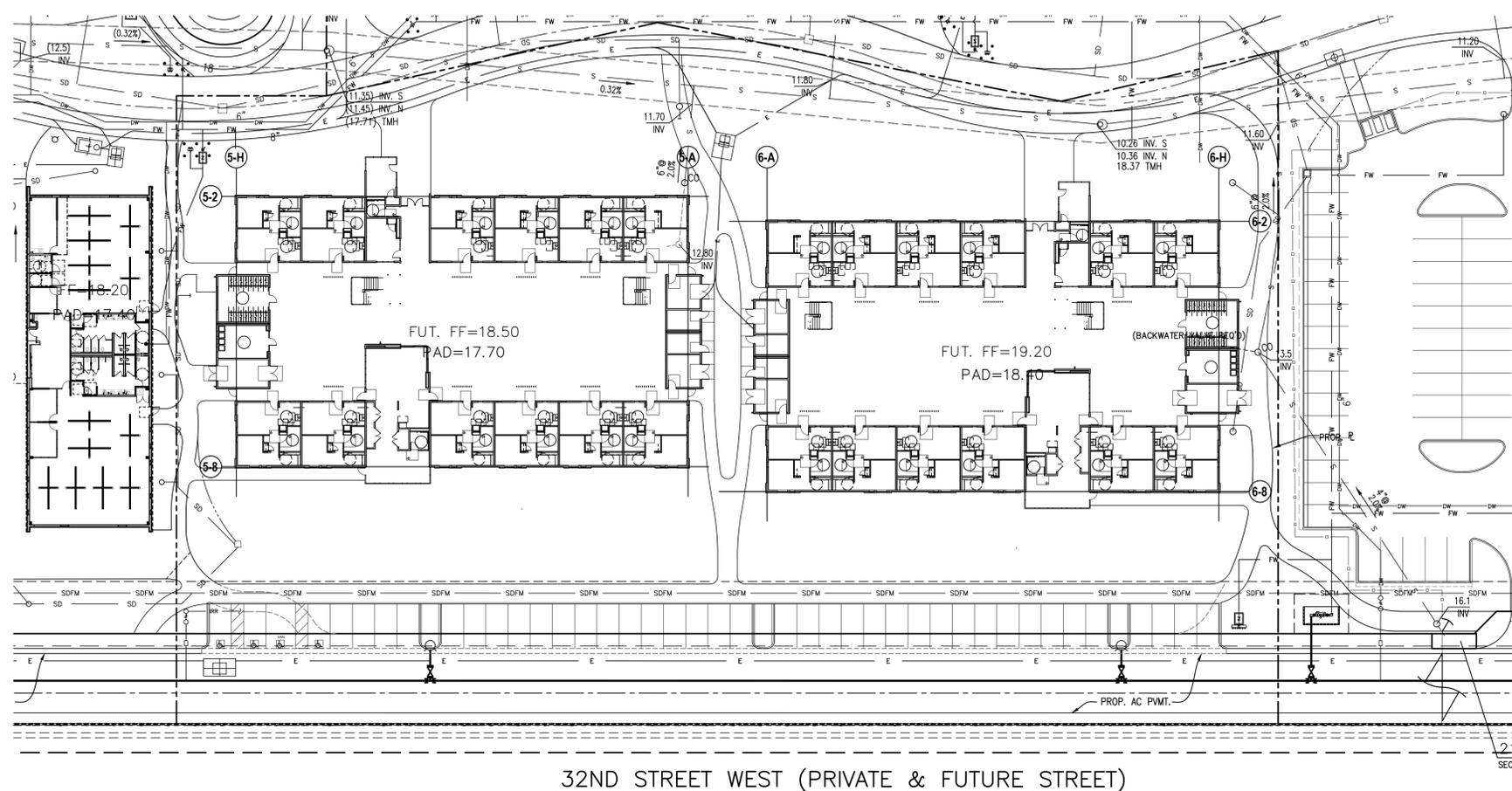


antelope valley engineering inc.
 129 West Pasadena St. Lancaster, Ca 93534
 Tel: (671) 946-8885 Fax: (671) 946-5170
 Email: info@antelopevalleyengineering.com

DRAWN: RG/BM
 DATE: 12-18-19
 JOB No.: 19-154
 SHEET: **C2.01**
 OF — SHEETS

GRA19-

J:\PROJECTS\19154\GRA19\19154_P19-3_ON-SITE_COMPOSITE_UTILITY.dwg P19_3 20 2019 03:17:03 pm



32ND STREET WEST (PRIVATE & FUTURE STREET)

SECUR

SEWER GENERAL NOTES:

- RESURFACE ALL TRENCHES WITHIN PAVED AREAS, TO THE SATISFACTION OF THE OWNER. SEE TYP. TRENCH DETAILS ON SHIT. U2
- SEWERS ARE TO BE TESTED FOR LEAKAGE PER SECTION 306-1.4 OF THE STANDARD SPECIFICATIONS.
- ALL BACKFILL SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM SOIL COMPACTION TEST D 1557-12E1 METHOD "D" UNLESS OTHERWISE SPECIFIED THIS SHALL BE CERTIFIED BY A QUALIFIED CIVIL ENGINEER OR SOILS LAB. THIS CERTIFICATION SHALL BE SUBMITTED TO THE OWNER PRIOR TO THE ACCEPTANCE OF THE WORK.
- INSTALL ON-SITE 6" PVC (SDR 35) GRAVITY SEWER LATERALS AND FITTINGS WITH 2.0% MIN. SLOPE (UNLESS NOTED OTHERWISE) AND WITH CLEANOUTS AT 100' INTERVALS OR AS SHOWN ON PLAN.
- INSTALL ON-SITE 10" PVC (SDR 35) GRAVITY SEWER LINES AND MANHOLES AS SHOWN ON PLAN.
- BACKWATER VALVES ARE REQUIRED FOR ALL BUILDINGS WHERE THE PAD IS LOWER IN ELEVATION THAN THE TOP OF THE NEXT UPSTREAM MANHOLE (ALL BUILDINGS HEREON QUALIFY).

SEWER CONSTRUCTION NOTES:

- INSTALL 4" TRANSITION COUPLING (VCP TO PVC), TYPE "Z".
- INSTALL 6" TRANSITION COUPLING (VCP TO PVC), TYPE "Z".
- INSTALL 4" PVC GRAVITY SEWER PIPE (SDR 35) AND FITTINGS.
- INSTALL 6" PVC GRAVITY SEWER PIPE (SDR 35) AND FITTINGS.
- INSTALL CLEANOUT AS SHOWN ON PLAN PER TYPICAL DETAIL HEREON.

NOTES:

- ADD 2300' TO ELEVATIONS AS APPLICABLE.
- SEE SHEET "C2.10" FOR "ON-SITE SEWER SYSTEM PLAN".
- SEE SHEET "C2.20" FOR "ON-SITE STORM DRAIN PLAN" (INCLUDING CROSSING TABLE).
- SEE SEPARATE PLANS FOR "ON-SITE FIRE PROTECTION PLAN".
- ALL WORK DONE WITHIN THE STREET RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.

DRAWING SHEET INDEX:

- C1.00 GRADING TITLE SHEET
- C1.10 HORIZONTAL CONTROL PLAN
- C1.20 GRADING PLAN
- C1.30 CONSTRUCTION PLAN
- C1.40 GRADING DETAILS
- C1.50 PRECISE GRADES @ VILLA (TYPICAL)
- C2.00 COMPOSITE UTILITY_PH2
- C2.21 COMPOSITE UTILITY_PH2
- C2.10 "ON-SITE" SEWER_NORTH_PH2
- C2.20 "ON-SITE" STORM DRAIN_PLAN_PH2
- C2.21 TYPICAL VILLA STORM DRAIN

| REV. | DESCRIPTION | DATE | APPR. |
|------|-------------|------|-------|
| | | | |
| | | | |
| | | | |

OWNER
NO MORE LEMONS, LP
 6330 VAREL AVENUE, SUITE 101
 WOODLAND HILLS, CA 91367
 (818) 789-5550

PROJECT
KENSINGTON HOMES
 AVENUE 1 & 32ND ST. W.
 LANCASTER, CA. 93536
 APN# 3107-012-127
 SPR 17-04, BUILDINGS:
 45248 32ND ST W
 45258 32ND ST W

SHEET TITLE
ON-SITE SEWER PLAN

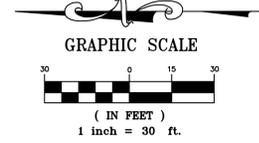
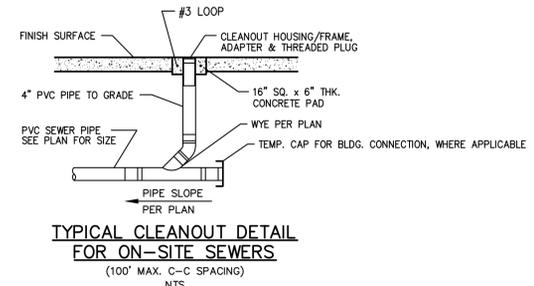


anelope valley engineering inc
 129 West Pasadena St. Lancaster, CA 93534
 Tel: (671) 946-8885 Fax: (671) 946-5170
 Email: info@anelopevalleyengineering.com

DRAWN: RG/BM
DATE: 12-18-19
JOB No.: 19-154
SHEET: C2.10
OF - **SHEETS**

NOTE TO CONTRACTOR:
 PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY DEPTH AND HORIZONTAL LOCATIONS OF EXISTING UTILITIES. NOTIFY ENGINEER IF LOCATIONS OR DEPTH CONFLICT WITH NEW WORK.

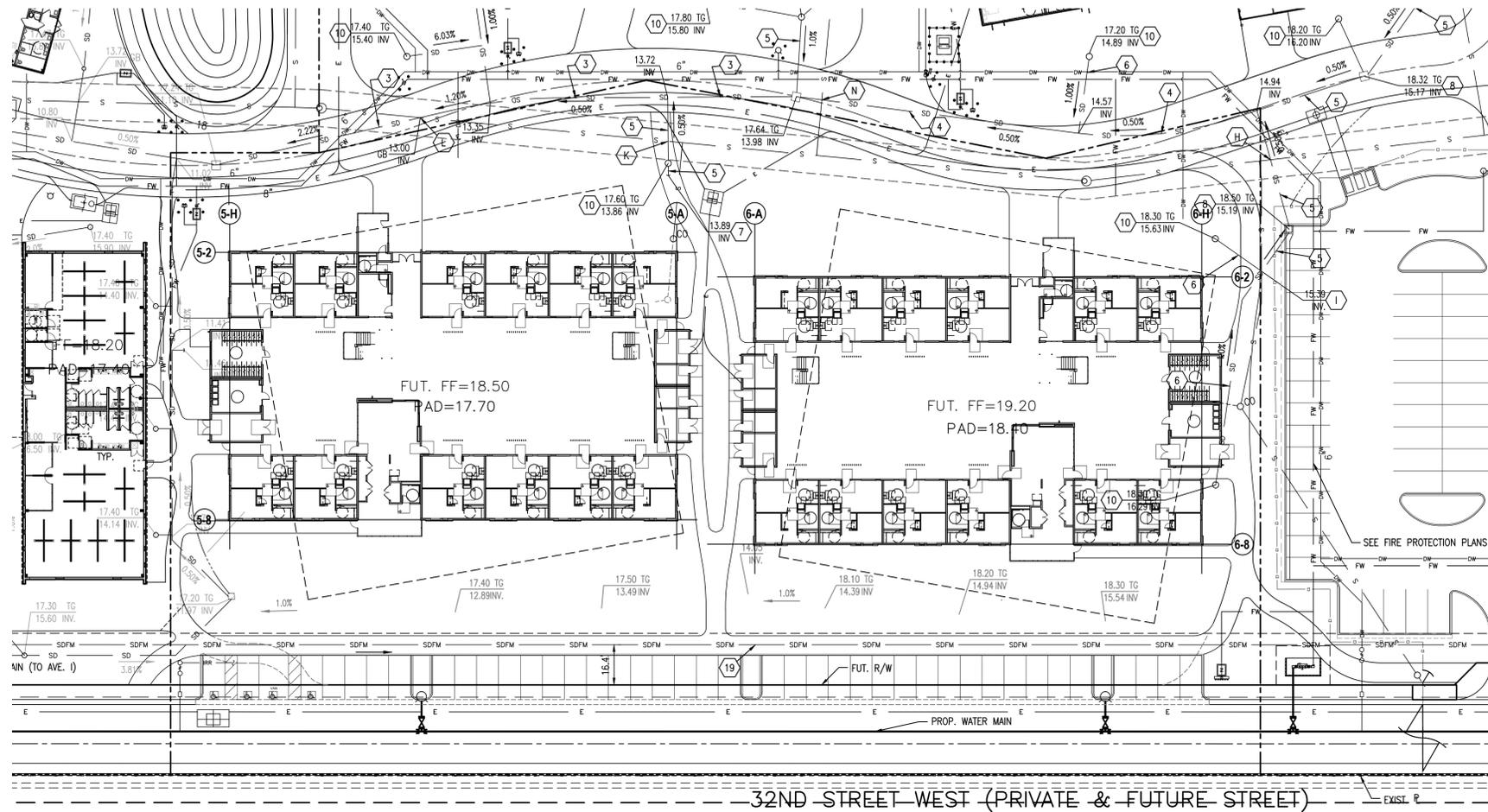
NOTE:
 ALL WORK DONE WITHIN THE RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.



J:\proj\19-154\eng\19154.dwg (19154) PH-3 02.18 ON-SITE SEWER.dwg Fri, Dec 20 2019 03:17:44 pm



GRA19-



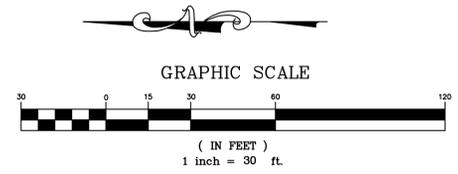
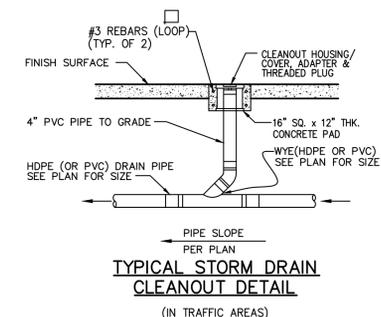
LEGEND

- S — PROPOSED SEWER
- SD — PROPOSED STORM DRAIN
- SD — FUTURE STORM DRAIN
- FW — PROPOSED FIRE WATER
- 4"SL — PROPOSED SEWER LATERAL (SIZE INDICATED)
- T/D — PROPOSED TEL., TV & DATA
- (S) — EXIST. SEWER (CITY OF LANCASTER/ LA CO. SANITATION DISTRICT)
- (W) — EXIST. WATER (LA COUNTY WATERWORKS)
- (G) — EXIST. GAS (SOUTHERN CALIFORNIA GAS CO.)
- (TV) — EXIST. CABLE TV (SPECTRUM)
- (T) — EXIST. TELEPHONE (FRONTIER)
- (SD) — EXIST. STORM DRAIN (CITY OF LANCASTER)
- SDFM — PROPOSED STORM DRAIN FORCED MAIN (TO AVENUE—)

- STORM DRAIN NOTES**
- ALL MATERIAL SHALL BE INSPECTED AND ACCEPTED BY THE CITY INSPECTOR PRIOR TO BEING USED FOR CONSTRUCTION. THE CITY INSPECTOR HAS THE AUTHORITY TO REJECT THE USE OF MATERIALS WHICH ARE DAMAGED OR NOT IN COMPLIANCE WITH PLANS OR STANDARDS.
 - THE CONTRACTOR SHALL PROVIDE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES AND TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES AND IMPROVEMENTS FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK, TO THE SATISFACTION OF THE CITY ENGINEER.
 - ALL FITTINGS TO BE ECCENTRIC (FL TO FL) UNLESS NOTED OTHERWISE.
 - HDPE PIPE TO BE ADS INC. TYPE N-12 (WATER TIGHT) OR APPROVED EQUAL.
 - HDPE STORM DRAIN PIPE TO HAVE WATER TIGHT JOINTS AND FITTINGS.
 - PVC PIPE AND FITTINGS (MIN. SDR 35) CAN BE SUBSTITUTED FOR HDPE PIPE WHERE DEPTH OF COVER > 3.0 FT.
 - ALL CONSTRUCTION SHALL COMPLY WITH THE CALIFORNIA PLUMBING CODE, LATEST EDITION.
 - SEE "BUILDING PLANS" FOR ROOF DRAINS DOWN SPOUT LOCATIONS.
 - IMPROVEMENTS WITHIN PUBLIC RIGHT OF WAY REQUIRE CITY ENCROACHMENT PERMIT.

- STORM DRAIN CONSTRUCTION NOTES**
- INSTALL 8" HDPE DRAIN PIPE WITH REQUIRED FITTINGS.
 - INSTALL 6" HDPE DRAIN PIPE WITH REQUIRED FITTINGS.
 - CONSTRUCT 6" ATRIUM GRATE INLET WITH FITTINGS PER DETAIL ON SHEET C2.20 (NDS PRODUCTS OR EQUAL). INSTALL TEMP 4" DIA. GRAVEL APRON AROUND INLET UNTIL LANDSCAPED.
 - CONNECT TO ROOF DRAIN AND INSTALL CLEAN OUT PER TYPICAL DETAIL ON SHEET C2.20. (FITTINGS AS NECESSARY). COORDINATE WITH PLUMBING PLANS.
 - CONSTRUCT PCC SPLASH PAD AT ROOF DRAIN OVER-FLOW IN DIRT AREA.
 - INSTALL 4" HDPE DRAIN PIPE WITH REQUIRED FITTINGS. TO CONNECT TO ROOF DRAINS, WHERE APPLICABLE.
 - INSTALL 12"x8" TEE IN EXISTING SD PIPE AND CONNECT NEW LATERAL.
 - INSTALL 12"x6" TEE IN EXISTING SD PIPE AND CONNECT NEW LATERAL.
 - INSTALL 12"x4" TEE IN EXISTING SD PIPE AND CONNECT NEW LATERAL.
 - INSTALL 8"x8" TEE IN EXISTING SD PIPE AND CONNECT NEW LATERAL.
 - INSTALL 8"x6" TEE/CROSS, AS NEEDED, IN EXISTING SD PIPE AND CONNECT NEW LATERAL.
 - INSTALL 8"x4" TEE IN EXISTING SD PIPE AND CONNECT NEW LATERAL.

- DRAWING SHEET INDEX:**
- C1.00 GRADING TITLE SHEET
 - C1.10 HORIZONTAL CONTROL PLAN
 - C1.20 GRADING PLAN
 - C1.30 CONSTRUCTION PLAN
 - C1.40 GRADING DETAILS
 - C1.50 PRECISE GRADES @ VILLA (TYPICAL)
 - C2.00 COMPOSITE UTILITY_PH2
 - C2.21 COMPOSITE UTILITY_PH2
 - C2.10 "ON-SITE" SEWER_NORTH_PH2
 - C2.20 "ON-SITE" STORM DRAIN PLAN_PH2
 - C2.21 TYPICAL VILLA STORM DRAIN



STORM DRAIN CROSSING TABLE

| NODE | S.D. INVERT | S.S. INVERT | S.D.F.M. INVERT | PIPE CLEARANCE |
|------|-------------|-------------|-----------------|----------------|
| (A) | 8.43 | - | 13.20 | 3.15' |
| (B) | 15.13 | - | 13.53 | 1.00' |
| (C) | 13.72 | 11.76 | - | 1.00' |
| (D) | 9.95 | 14.15 | - | 2.83' |
| (E) | 10.66 | 12.57 | - | 0.54' |
| (F) | 10.21 | 12.15 | - | 1.31' |
| (G) | 13.25 | 14.67 | - | .85' |
| (P) | 15.14 | 13.20 | - | 1.41' |
| (Q) | 9.60 | 13.07 | - | 1.83' |

NOTE: THIS TABLE CONTINUED ON SHEET C2.21

- NOTES:**
- ADD 2300' TO ELEVATIONS AS APPLICABLE.
 - SEE SHEET "C2.10" FOR "ON-SITE SEWER SYSTEM PLAN".
 - SEE SHEET "C2.20" FOR "ON-SITE STORM DRAIN PLAN".
 - SEE SEPARATE PLANS FOR "ON-SITE FIRE PROTECTION PLAN".
 - ALL WORK DONE WITHIN THE STREET RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.

NOTE TO CONTRACTOR:
 PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY DEPTH AND HORIZONTAL LOCATIONS OF EXISTING UTILITIES. NOTIFY ENGINEER IF LOCATIONS OR DEPTH CONFLICT WITH NEW WORK.

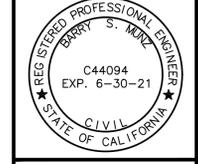


| REV. | DESCRIPTION | DATE | APPR. |
|------|-------------|------|-------|
| | | | |
| | | | |

OWNER
NO MORE LEMONS, LP
 6330 VAREIL AVENUE, SUITE 101
 WOODLAND HILLS, CA 91367
 (818) 789-5550

PROJECT
KENSINGTON HOMES
 AVENUE I & 32ND ST. W.
 LANCASTER, CA. 93536
 APN# 3107-012-127
 SPR 17-04, BUILDINGS:
 45248 32ND ST W
 45258 32ND ST W

SHEET TITLE
ON-SITE STORM DRAIN



antelope valley engineering inc.
 129 West Pasadena St., Lancaster, CA 93534
 Tel: (661) 946-6665 Fax: (661) 946-5170
 Email: info@antelopevalleyengineering.com

DRAWN: RG/BM
DATE: 12-18-19
JOB No.: 19-154
SHEET: C2.20
 1 OF SHEETS

GRA19-

I:\projects\19154\eng\19154\PH-3 C2.20 ON-SITE SD.dwg P.L. Dec 20 2019 03:18:26 pm

LEGEND

| | |
|----------|--|
| — S — | PROPOSED SEWER |
| — SD — | PROPOSED STORM DRAIN |
| — SD — | FUTURE STORM DRAIN |
| — FW — | PROPOSED FIRE WATER |
| — 4"SL — | PROPOSED SEWER LATERAL (SIZE INDICATED) |
| — T/D — | PROPOSED TEL., TV & DATA |
| — (S) — | EXIST. SEWER (CITY OF LANCASTER/ LA CO. SANITATION DISTRICT) |
| — (W) — | EXIST. WATER (LA COUNTY WATERWORKS) |
| — (G) — | EXIST. GAS (SOUTHERN CALIFORNIA GAS CO.) |
| — (TV) — | EXIST. CABLE TV (SPECTRUM) |
| — (T) — | EXIST. TELEPHONE (FRONTIER) |
| — (SD) — | EXIST. STORM DRAIN (CITY OF LANCASTER) |
| — SDFM — | PROPOSED STORM DRAIN FORCED MAIN(TO AVENUE-I) |

STORM DRAIN NOTES

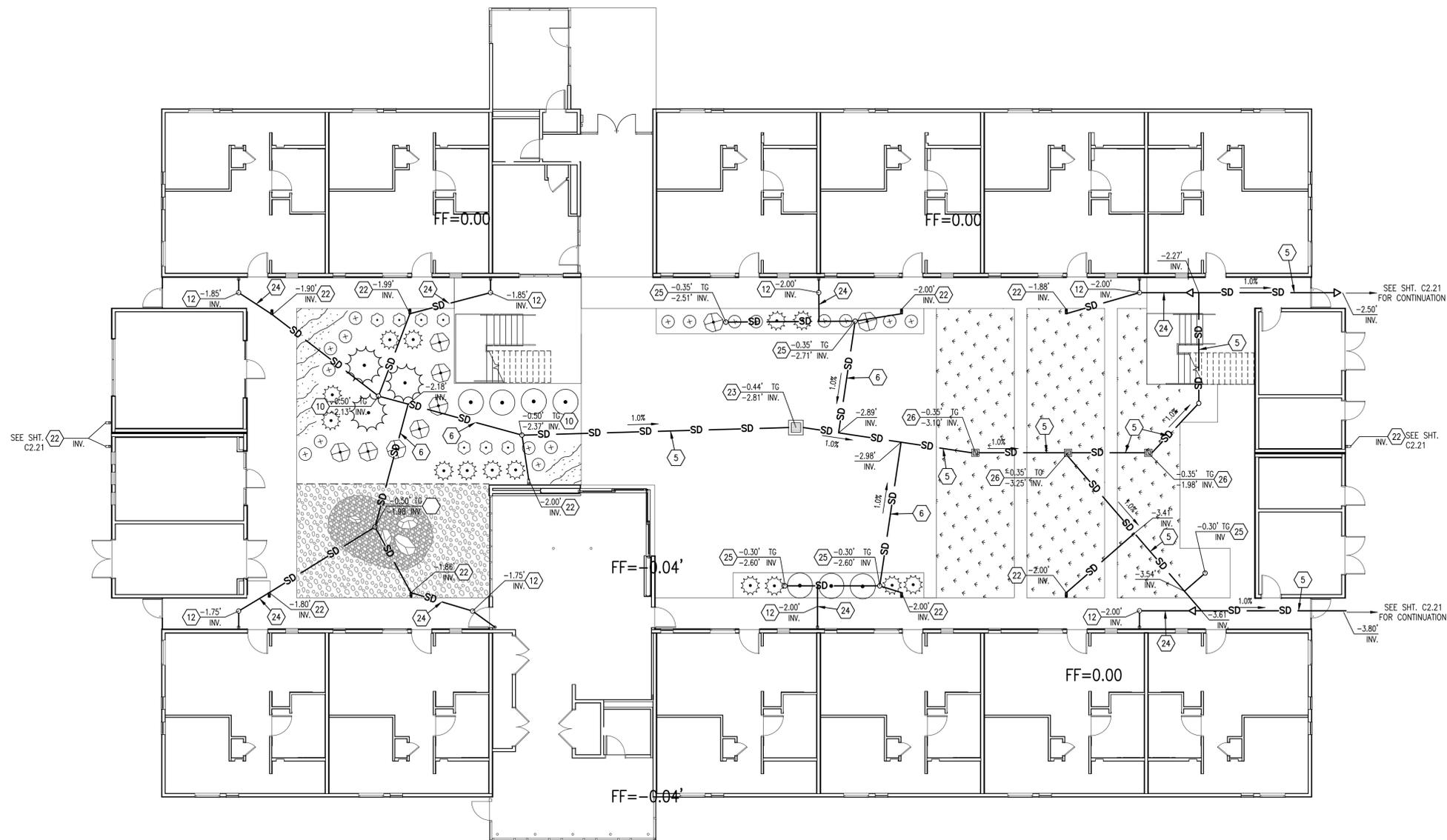
- ALL MATERIAL SHALL BE INSPECTED AND ACCEPTED BY THE CITY INSPECTOR PRIOR TO BEING USED FOR CONSTRUCTION. THE CITY INSPECTOR HAS THE AUTHORITY TO REJECT THE USE OF MATERIALS WHICH ARE DAMAGED OR NOT IN COMPLIANCE WITH PLANS OR STANDARDS.
- THE CONTRACTOR SHALL PROVIDE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES AND TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES AND IMPROVEMENTS FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK, TO THE SATISFACTION OF THE CITY ENGINEER.
- ALL FITTINGS TO BE ECCENTRIC (FL TO FL) UNLESS NOTED OTHERWISE.
- HOPE PIPE TO BE ADS INC. TYPE N-12 (WATER TIGHT) OR APPROVED EQUAL.
- HOPE STORM DRAIN PIPE TO HAVE WATER TIGHT JOINTS AND FITTINGS.
- PVC PIPE AND FITTINGS (MIN. SDR 35) CAN BE SUBSTITUTED FOR HOPE PIPE WHERE DEPTH OF COVER > 3.0 FT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CALIFORNIA PLUMBING CODE, LATEST EDITION.
- SEE "BUILDING PLANS" FOR ROOF DRAINS DOWN SPOUT LOCATIONS.
- IMPROVEMENTS WITHIN PUBLIC RIGHT OF WAY REQUIRE CITY ENCROACHMENT PERMIT.
- ALL ROOF DRAIN DOWN SPOUTS TO BE CONNECTED TO STORM DRAIN SYSTEM.
- COURTYARD PLANTER AREA MAY REQUIRE SUBDRAINS, COORDINATE WITH GEOTECHNICAL ENGINEER.

STORM DRAIN CONSTRUCTION NOTES

- (5) INSTALL 8" HOPE DRAIN PIPE WITH REQUIRED FITTINGS.
- (6) INSTALL 6" HOPE DRAIN PIPE WITH REQUIRED FITTINGS.
- (10) CONSTRUCT 6" ATRIUM GRATE INLET WITH FITTINGS PER DETAIL ON SHEET C2.22 (NDS PRODUCTS OR EQUAL)
- (11) INSTALL CLEAN OUT PER TYPICAL DETAIL HEREON.
- (12) CONNECT TO ROOF DRAIN AND INSTALL CLEAN OUT PER TYPICAL DETAIL HEREON. (FITTINGS AS NECESSARY). COORDINATE WITH PLUMBING PLANS.
- (22) INSTALL 4" HOPE DRAIN PIPE WITH REQUIRED FITTINGS TO CONNECT TO ROOF GUTTER DRAINS, WHERE APPLICABLE.
- (23) CONSTRUCT 12" SQ. GRATE INLET (NDS PRODUCT 1210 OR EQUAL) WITH MISC. FITTINGS AS REQUIRED. VERIFY COLOR WITH LANDSCAPING ARCH & OWNER.
- (24) INSTALL 4" HOPE OR SCH 40 PVC DRAIN PIPE WITH REQUIRED FITTINGS.
- (25) INSTALL 4" ATRIUM GRATE INLET WITH FITTINGS PER DETAIL ON SHEET C2.22 (NDS OR EQUAL).
- (26) CONSTRUCT 9" SQ GRATE INLET WITH FITTINGS PER DETAIL ON SHEET C2.22 (NDS 990 OR EQUAL).

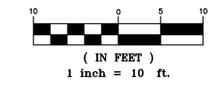
DRAWING SHEET INDEX:

| | |
|-------|----------------------------------|
| C1.00 | GRADING TITLE SHEET |
| C1.10 | HORIZONTAL CONTROL PLAN |
| C1.20 | GRADING PLAN |
| C1.30 | CONSTRUCTION PLAN |
| C1.40 | GRADING DETAILS |
| C1.50 | PRECISE GRADES @ VILLA (TYPICAL) |
| C2.00 | COMPOSITE UTILITY_PH2 |
| C2.21 | COMPOSITE UTILITY_PH2 |
| C2.10 | "ON-SITE" SEWER_NORTH_PH2 |
| C2.20 | "ON-SITE" STORM DRAIN PLAN_PH2 |
| C2.21 | TYPICAL VILLA STORM DRAIN |



TYPICAL VILLA ENLARGED PLAN

GRAPHIC SCALE



| REV. | DESCRIPTION | DATE | APPR. |
|------|-------------|------|-------|
| | | | |
| | | | |
| | | | |

OWNER
NO MORE LEMONS, LP
 6330 VAREIL AVENUE, SUITE 101
 WOODLAND HILLS, CA 91367
 (818) 789-5550

PROJECT
KENSINGTON HOMES
 AVENUE I & 32ND ST. W.
 LANCASTER, CA. 93536
 APN# 3107-012-127
 SPR 17-04, BUILDINGS:
 45248 32ND ST W
 45258 32ND ST W

SHEET TITLE
 TYPICAL VILLA STORM DRAIN



anelope valley engineering inc
 129 West Pasadena St. Lancaster, Ca 93534
 Tel: (671) 946-8885 Fax: (671) 946-5170
 Email: info@anelopevalleyengineering.com

DRAWN: RG/BM
DATE: 12-18-19
JOB No.: 19-154
SHEET: C2.21
 OF — SHEETS

\\mspc\p\PROJECTS\19154\eng\DRAWING\19154-01-C2.21 ON-SITE SD - VILLA.dwg Pk, Dec 20 2019 05:18:31 pm